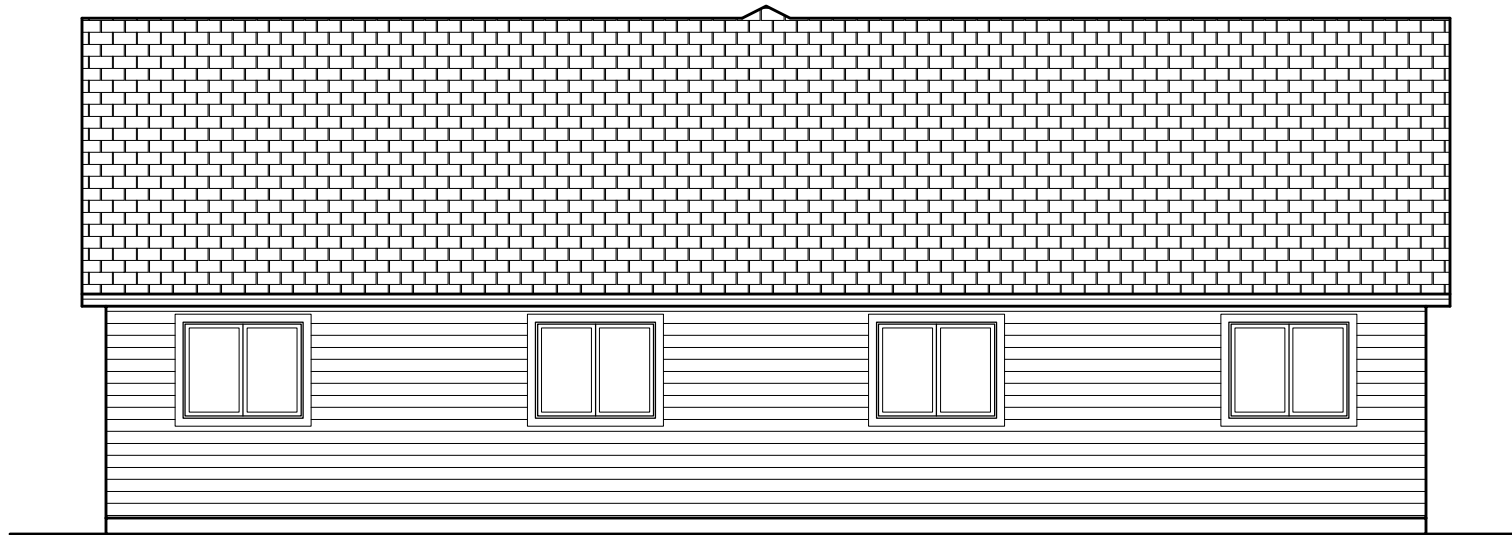


FRONT ELEVATION
1/4"=1'-0"



REAR ELEVATION
1/4"=1'-0"

428 - 430 S. WILLIAMS AVE

PRELIMINARY PLAN
NOT FOR CONSTRUCTION

PLAN # SFL2380 PAGE OF	SCOTT LUMBER A DIVISION OF LAMPERT YARDS, INCORPORATED	404 S. GRANGE DR. SIOUX FALLS, SD (605)338-0860	VERIFY ALL DIMENSIONS. ALTHOUGH EVERY POSSIBLE EFFORT IS MADE TO ACCURATELY REPRESENT THE PROJECT, THE CONTRACTOR SHALL CHECK AND CONFIRM ALL ROUGH OPENINGS AND OTHER DIMENSIONS FOR ACCURACY. THESE PLANS, SPECIFICATIONS AND OTHER DIMENSIONS ARE PRELIMINARY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND OTHER DIMENSIONS FOR ACCURACY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.	CUSTOMER: AFFORDABLE HOUSING YARD: SIOUX FALLS	DATE: 4/7/2023	DRAWN BY: SA REVISED:
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LEFT ELEVATION
1/4"=1'-0"



RIGHT ELEVATION
1/4"=1'-0"

428 - 430 S. WILLIAMS AVE

PRELIMINARY PLAN
NOT FOR CONSTRUCTION

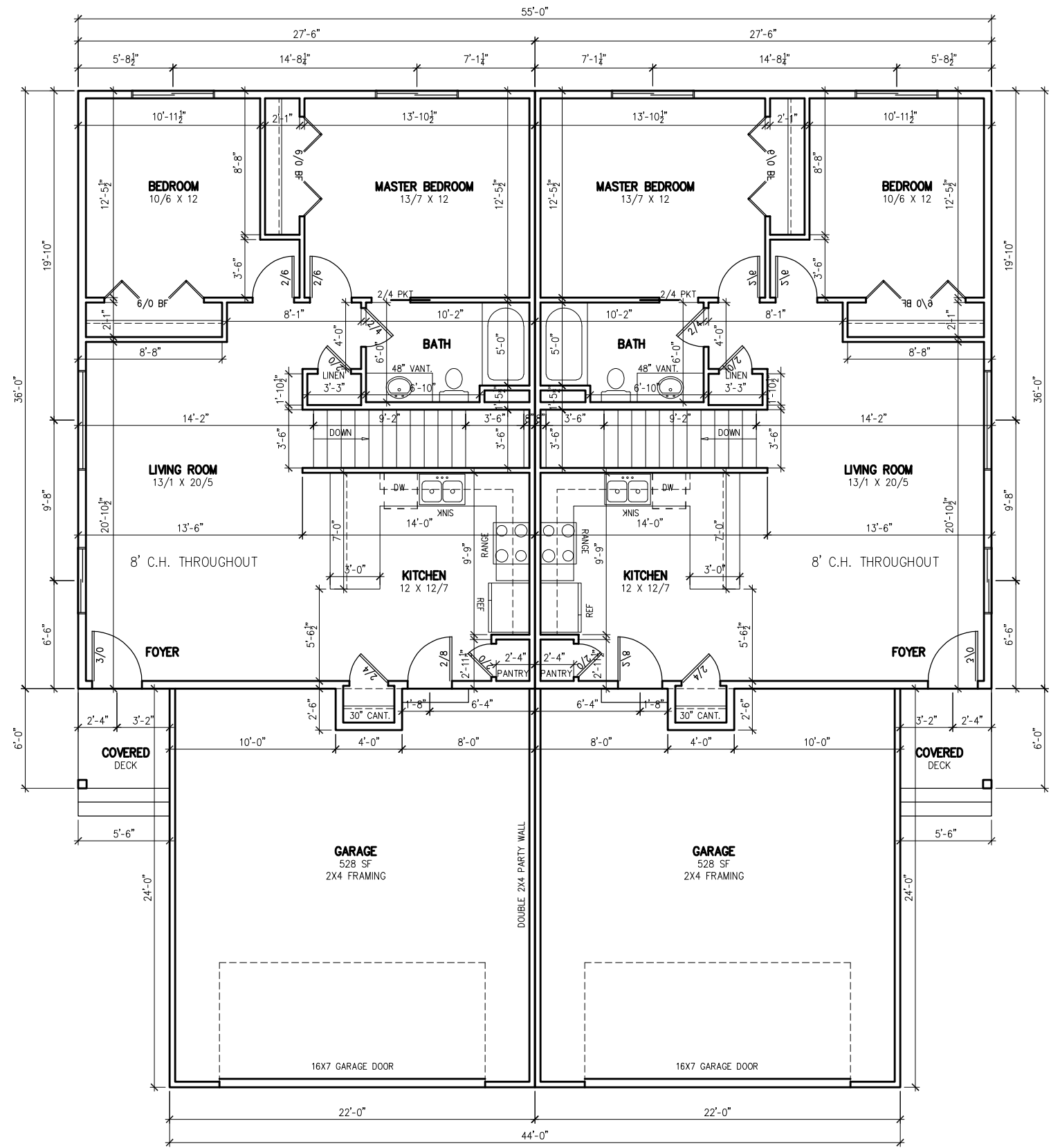
404 S. GRANGE DR SIOUX FALLS, SD (605)338-0860 SCOTT LUMBER A DIVISION OF LAMPERT YARDS, INCORPORATED	CUSTOMER: AFFORDABLE HOUSING	DRAWN BY: SA
	YARD: SIOUX FALLS	DATE: 4/7/2023

PLAN #
SFL2380
PAGE
OF

VERIFY ALL DIMENSIONS. ALTHOUGH EVERY POSSIBLE EFFORT IS MADE TO ACCURATELY REPRESENT THE PROJECT, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CHECK FOR ANY DISCREPANCIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND CONFIRM ALL ROUGH OPENINGS AND OTHER DIMENSIONS FOR ACCURACY. THESE PLANS SHOW GENERAL CONCEPTS AND SPECIFIC STRUCTURAL MEMBERS OR MANUFACTURER SPECIFICATIONS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CHECK FOR ANY DISCREPANCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR CONSTRUCTION.

428 - 430 S. WILLIAMS AVE

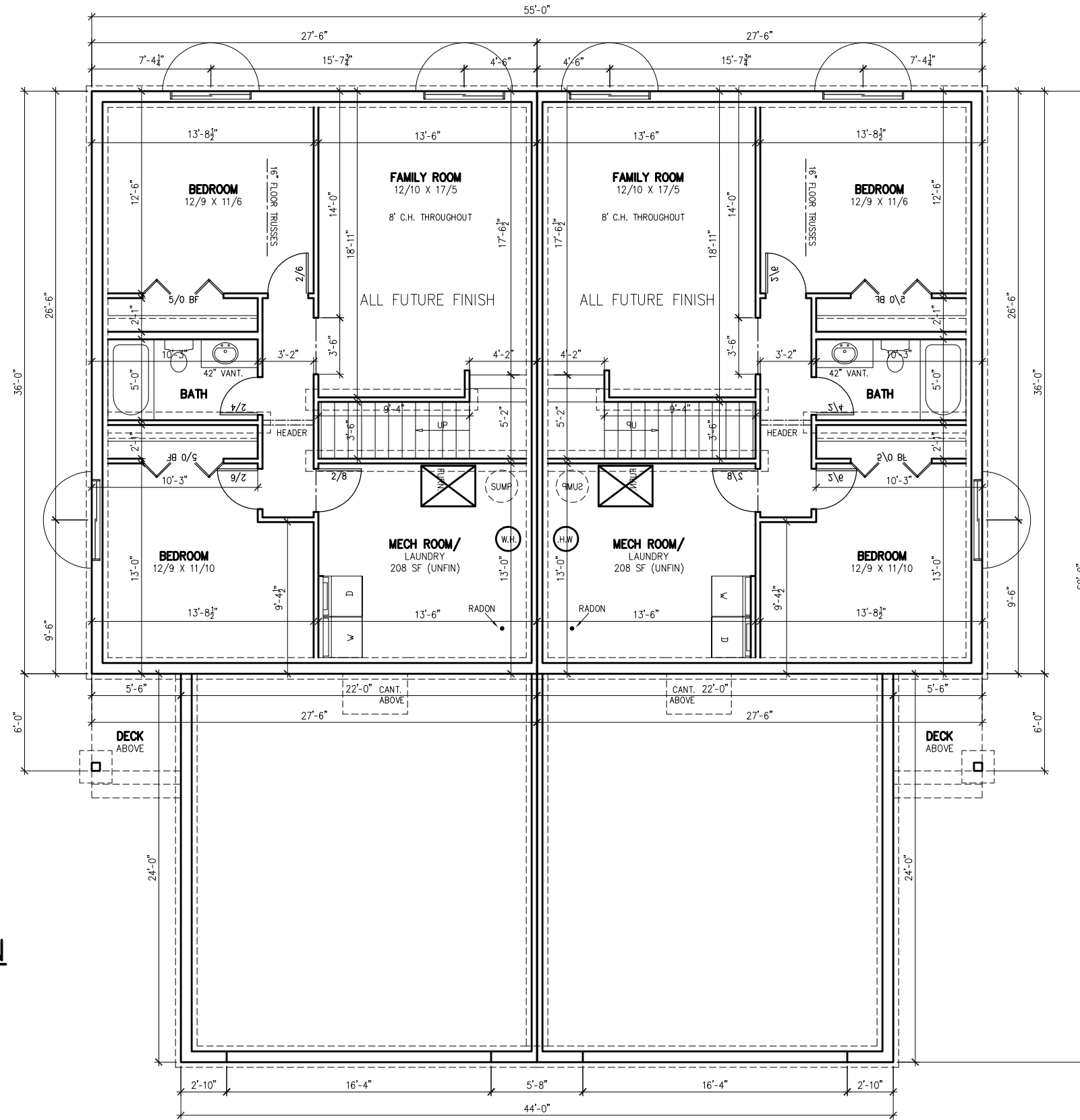
FLOOR PLAN
 1/4"=1'-0"
 1,000 SF



PRELIMINARY PLAN
 NOT FOR CONSTRUCTION

4044 S. GRANGE DR. SIOUX FALLS, SD 57105 (605)336-0860 SCOTT LUMBER A DIVISION OF LAMPERT YARDS, INCORPORATED	CUSTOMER: AFFORDABLE HOUSING	DRAWN BY: SA
	YARD: SIOUX FALLS	DATE: 4/7/2023
PLAN # SFL2380	PAGE OF	VERIFY ALL DIMENSIONS. ALTHOUGH EVERY POSSIBLE EFFORT IS MADE TO ACCURATELY REPRESENT THE PROJECT, THE CONTRACTOR SHALL CHECK AND CONFIRM ALL DIMENSIONS AND OTHER DIMENSIONS FOR ACCURACY. THESE PLANS SHOW CONSTRUCTION AND SPECIFIC MATERIALS AND METHODS OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND OTHER DIMENSIONS FOR ACCURACY. THESE PLANS ARE PRELIMINARY AND NOT FOR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND OTHER DIMENSIONS FOR ACCURACY.

FOUNDATION PLAN
 1/4"=1'-0"
 711 SF



428 - 430 S. WILLIAMS AVE

PRELIMINARY PLAN
 NOT FOR CONSTRUCTION

PLAN # SFL2380 PAGE 01	CUSTOMER: AFFORDABLE HOUSING	DRAWN BY: SA
	YARD: SIOUX FALLS	DATE: 4/7/2023

4044 S. GRANGE DR.
 SIOUX FALLS, SD 57105
 (605) 336-0860

SCOTT LUMBER
 A DIVISION OF LAMPERT YARDS, INCORPORATED

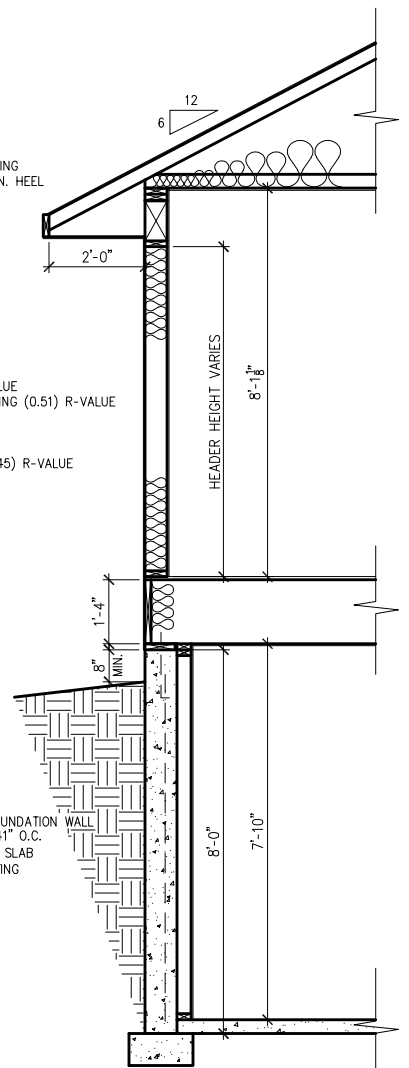
VERIFY ALL DIMENSIONS. ALTHOUGH EVERY POSSIBLE EFFORT IS MADE TO ACCURATELY REPRESENT THE PROJECT, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND OTHER DIMENSIONS FOR ACCURACY. THESE PLANS ARE FOR INFORMATION ONLY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND OTHER DIMENSIONS FOR ACCURACY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND OTHER DIMENSIONS FOR ACCURACY.

ROOF
 ASPHALT SHINGLES
 15# ASPHALT FELT
 7/16" OSB ROOF SHEATHING
 ROOF TRUSSES W/ 6" MIN. HEEL
 R-49 CEILING INSULATION
 STYLE "D" ROOF EDGE
 1X6 FASCIA AND
 VENTED SOFFIT SYSTEM
ALL WINDOWS
 (.35) U-VALUE

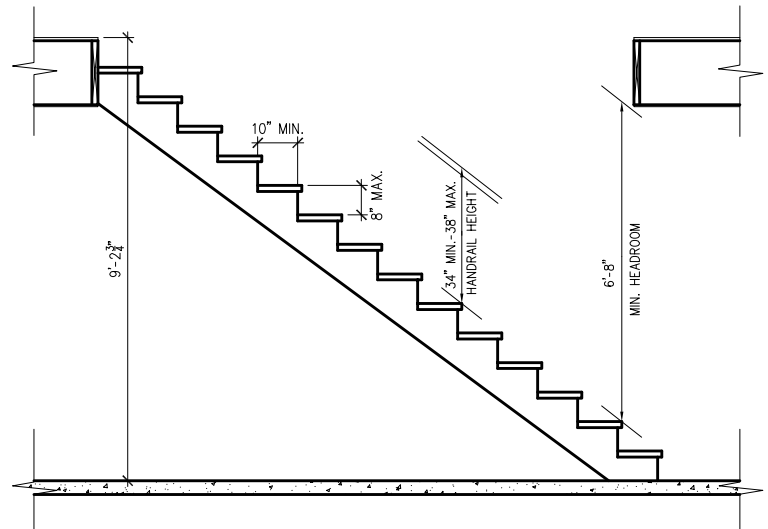
WALL
 SIDING (0.34) R-VALUE
 HOUSEWRAP (0.17) R-VALUE
 7/16" OSB WALL SHEATHING (0.51) R-VALUE
 2X6 STUDS
 R-19 INSULATION
 4 MIL. VAPOR BARRIER
 1/2" GYPSUM BOARD (0.45) R-VALUE
 TOTAL R-VALE OF 20+

FLOOR
 3/4" FLOOR SHEATHING
 16" FLOOR TRUSS

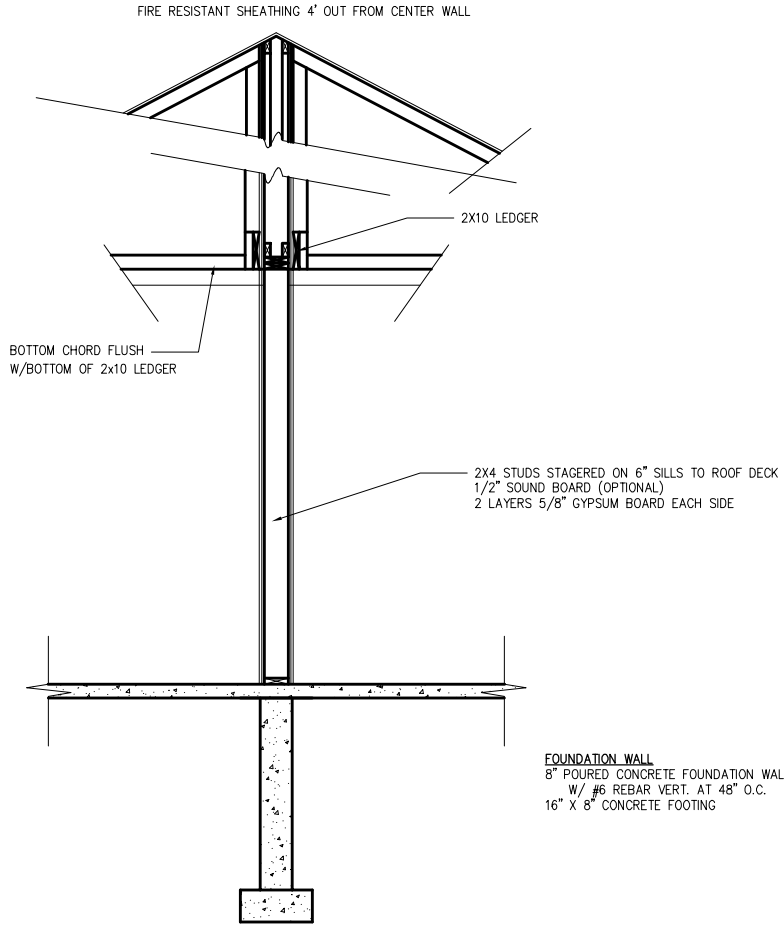
FOUNDATION WALL
 2X8 TREATED SILL PLATE
 1/2" ANCHOR BOLTS
 8" POURED CONCRETE FOUNDATION WALL
 W/ #6 REBAR VERT. AT 41" O.C.
 3 1/2" CONCRETE FLOOR SLAB
 16" X 8" CONCRETE FOOTING



TYPICAL WALL SECTION
 1/4"=1'-0"

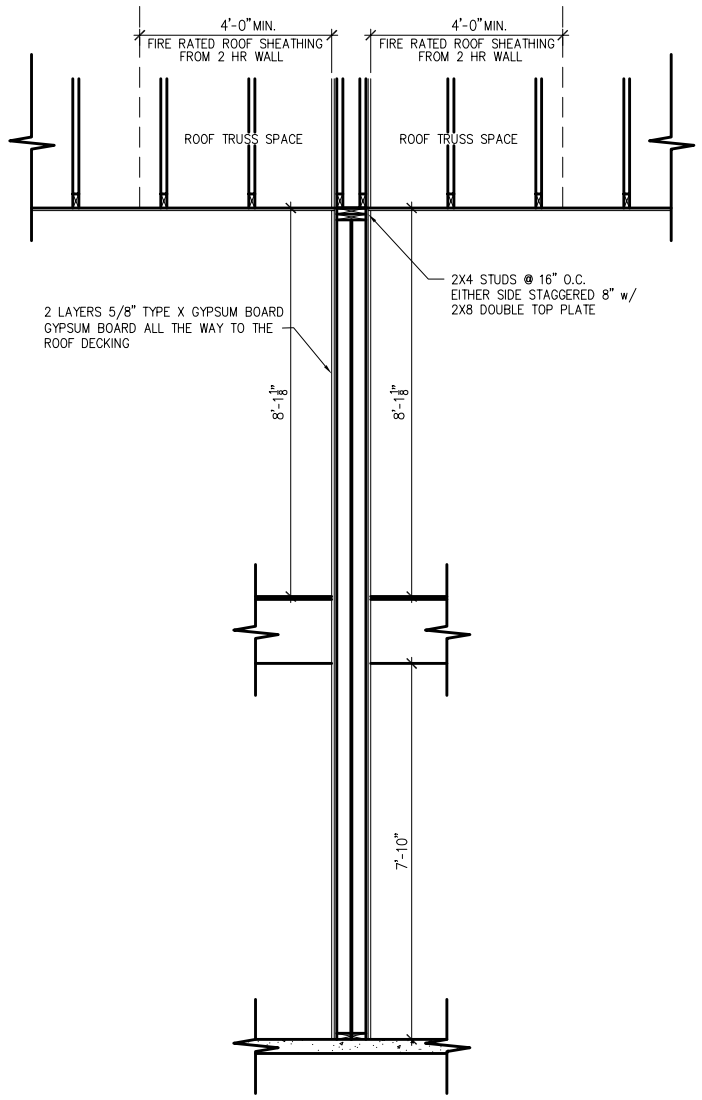


STAIR SECTION
 1/4"=1'-0"



GARAGE PARTY WALL SECTION
 1/2"=1'-0"

FOUNDATION WALL
 8" POURED CONCRETE FOUNDATION WALL
 W/ #6 REBAR VERT. AT 48" O.C.
 16" X 8" CONCRETE FOOTING



PARTY WALL SECTION
 1/4"=1'-0"

PRELIMINARY PLAN
 NOT FOR CONSTRUCTION

PLOT PLAN

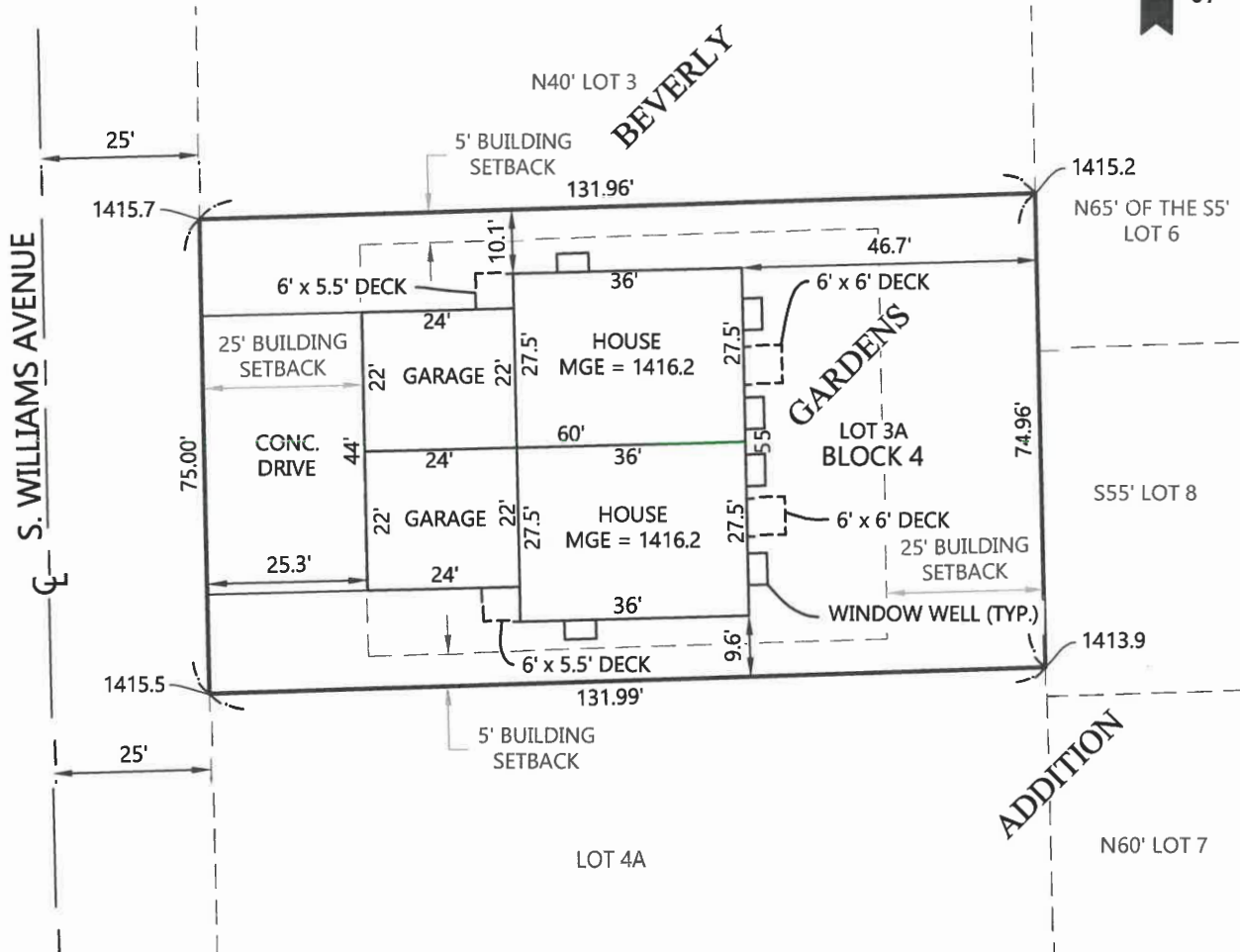
PROJECT NO.: 23228

DATE: APRIL 05, 2023

PREPARED FOR: AFFORDABLE HOUSING SOLUTIONS

PROPERTY ADDRESS:

LEGAL DESCRIPTION: LOT 3A IN BLOCK 4 OF BEVERLY GARDENS ADDITION TO THE CITY OF SIOUX FALLS, MINNEHAHA COUNTY, SOUTH DAKOTA

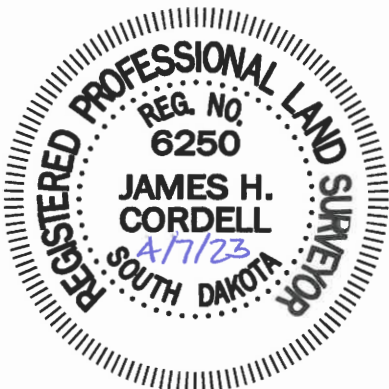


Legend

MGE - MINIMUM GROUND ELEVATION

1415.5 - LOT CORNER ELEVATION

I HEREBY CERTIFY THAT THIS SURVEY, PLAN OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF SOUTH DAKOTA.



James H. Cordell
 REGISTERED LAND SURVEYOR NO. 6250



216 S. Duluth Avenue • Sioux Falls, SD 57104
 Phone: (605) 332-7211 • Fax: (605) 332-7222

Engineers • Surveyors