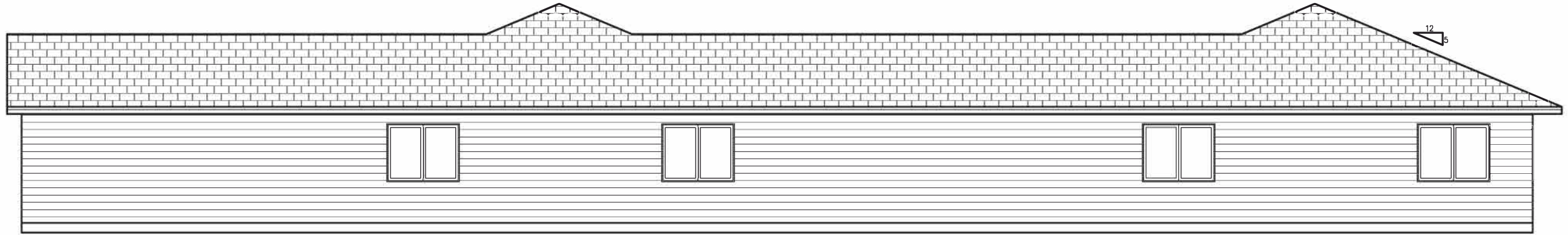
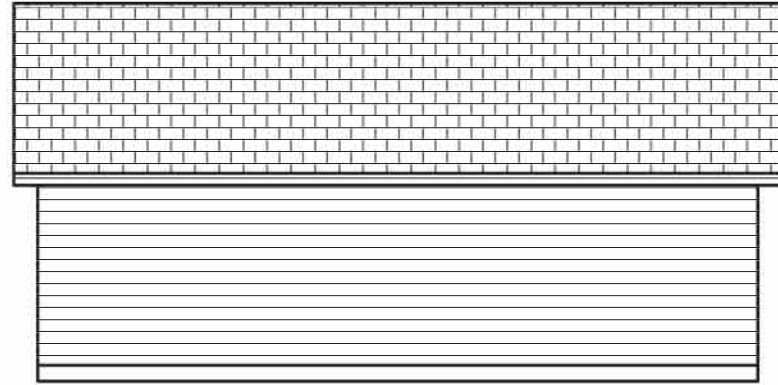




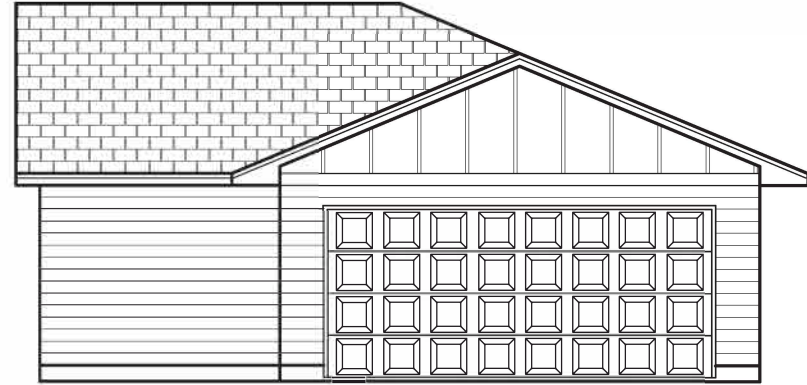
FRONT ELEVATION
1/8"=1'-0"



REAR ELEVATION
1/8"=1'-0"



LEFT ELEVATION
1/8"=1'-0"



RIGHT ELEVATION
1/8"=1'-0"

WINDOW WELL

7/26/2022 8:15:57 AM

CUSTOMER:
AFFORDABLE HOUSING / 2000 E 12TH STREET
DATE: 7/19/2022
PROJECT: SIOUX FALLS

404 S. GRANGE DR.
SIOUX FALLS, SD
(605) 336-0860

VERIFICATION OF ALL DIMENSIONS AND OPENINGS IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND CONFIRM ALL ROUGH OPENINGS AND OTHER DIMENSIONS FOR ACCURACY.

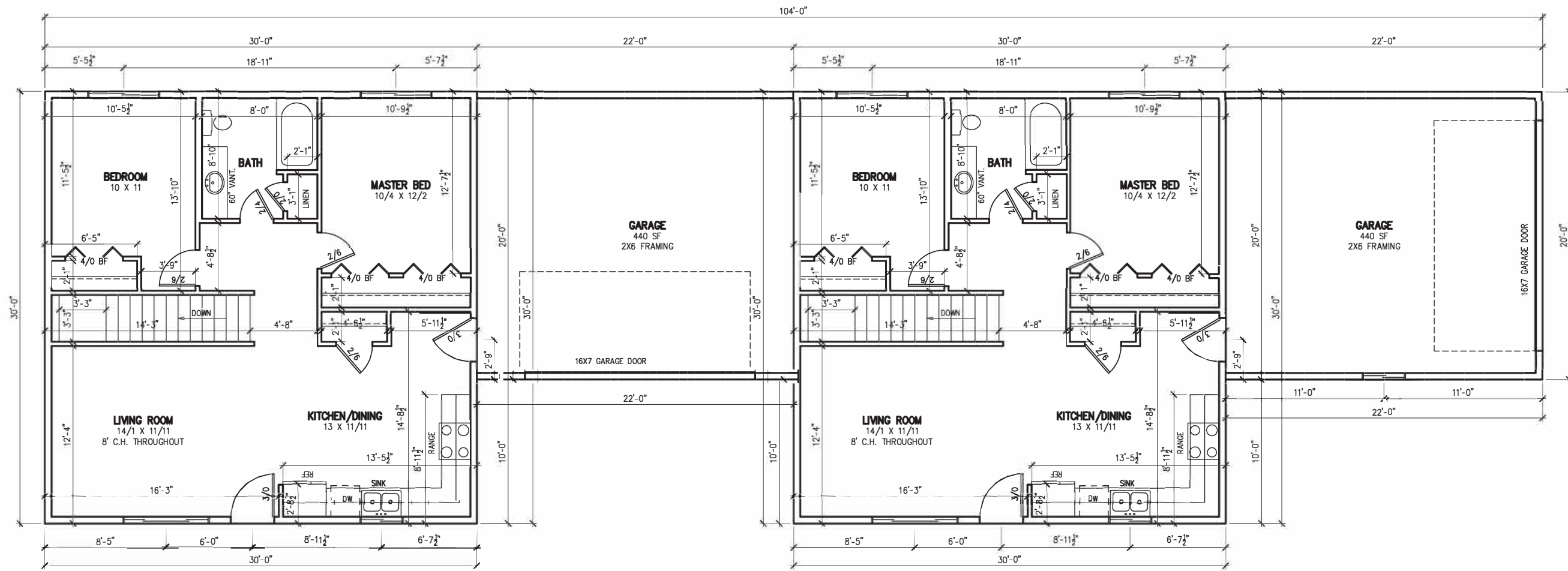
THIS DRAWING IS THE PROPERTY OF SCOTT LUMBER. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED ON THIS DRAWING. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SCOTT LUMBER.

SCOTT LUMBER
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PLAN # SF22337
PAGE 01

PRELIMINARY PLAN
NOT FOR CONSTRUCTION



FLOOR PLAN
 1/4"=1'-0"
 900 SF

PRELIMINARY PLAN
 NOT FOR CONSTRUCTION

400 S. GRANGE DR.
 SIOUX FALLS, SD 57105
 (605) 336-0860

SCOTT LUMBER
 A DIVISION OF LAMPERT YARDS, INCORPORATED

PLAN # SF22337
 OF 1
 PAGE

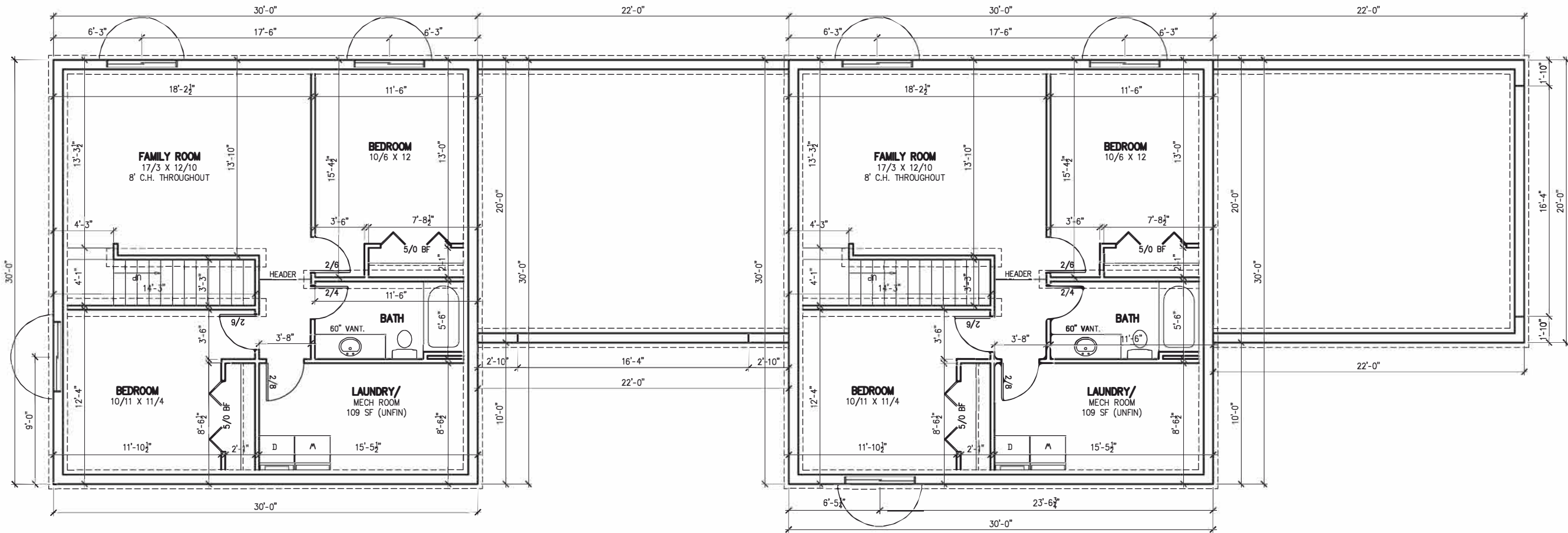
CUSTOMER: AFFORDABLE HOUSING / 2000 E. 12TH STREET
 YARD: SIOUX FALLS

DATE: 7/19/2022

DRAWN BY: SO
 REVIEWED:

7/26/2022 8:16:07 AM

VERIFY ALL DIMENSIONS THROUGH EVERY POSSIBLE OPENING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND CONFIRM ALL ROUGH OPENINGS AND OTHER DIMENSIONS FOR ACCURACY. THESE ARE ONLY CONCEPTUAL AND SPACING STRUCTURAL MEMBERS ON NON-STANDARD OPENINGS. THE COMPANY/INDIVIDUAL PROVIDING THIS LAYOUT IS NOT PROVIDING CONTRACT DOCUMENTS OR ACCEPTING LIABILITY FOR ANY CONSTRUCTION DEFECTS OR DAMAGES. THIS PLAN IS FOR INFORMATION ONLY AND SHOULD NOT BE USED FOR CONSTRUCTION.



FOUNDATION PLAN
 1/4"=1'-0"
 667 SF

PRELIMINARY PLAN
 NOT FOR CONSTRUCTION

4010 S. GRANGE DR.
 SIOUX FALLS, SD 57105
 (605) 336-0860

SCOTT LUMBER
 A DIVISION OF LAMPEET YARDS, INCORPORATED

PLAN # SF222337
 OF 1
 PAGE

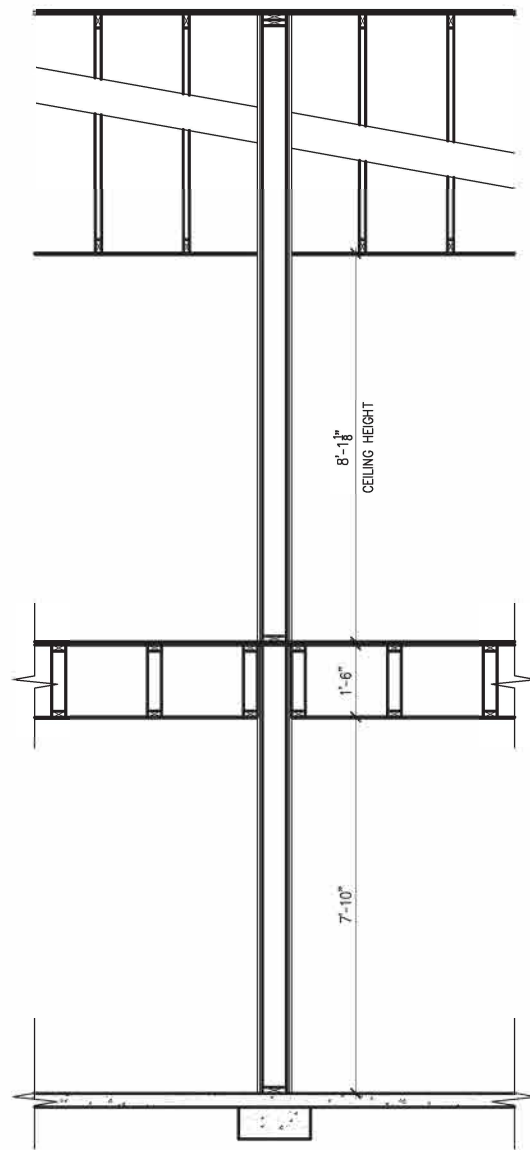
CUSTOMER: AFFORDABLE HOUSING / 2000 E 12TH STREET
 YARD: SIOUX FALLS

DATE: 7/19/2022

DRAWN BY: SO
 REVISION:

7/26/2022 8:16:18 AM

VERIFY ALL DIMENSIONS. ALTHOUGH EVERY EFFORT IS MADE TO ACCURATELY REPRESENT THE DIMENSIONS AND LOCATIONS OF ALL OPENINGS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND CONFIRM ALL DIMENSIONS AND LOCATIONS OF ALL OPENINGS. THESE PLANS ARE PRELIMINARY AND NOT TO BE USED FOR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND LOCATIONS OF ALL OPENINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND LOCATIONS OF ALL OPENINGS.



PARTY WALL SECTION
1/4"=1'-0"

ROOF
FIRE RESISTANT SHEATHING 4" OUT FROM CENTER WALL

WALL
2 LAYERS 5/8" GYPSUM BOARD
2X4 WOOD FRAMED STUDS STAGGERED 6" THICK
2 LAYERS 5/8" GYPSUM BOARD

FLOOR
3/4" T&G SUBFLOOR
16" FLOOR TRUSSES

WALL
2 LAYERS 5/8" GYPSUM BOARD
2X4 WOOD FRAMED STUDS STAGGERED 6" THICK
2 LAYERS 5/8" GYPSUM BOARD

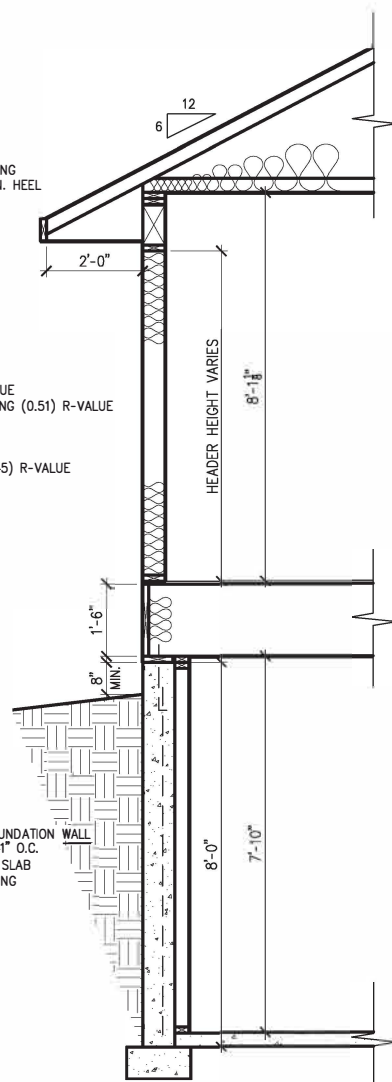
FOUNDATION WALL
3 1/2" CONCRETE FLOOR
16" X 8" CONCRETE FOOTING

ROOF
ASPHALT SHINGLES
15# ASPHALT FELT
7/16" OSB ROOF SHEATHING
ROOF TRUSSES W/ 6" MIN. HEEL
R-49 CEILING INSULATION
STYLE "D" ROOF EDGE
1X6 FASCIA AND
VENTED SOFFIT SYSTEM
ALL WINDOWS
(.35) U-VALUE

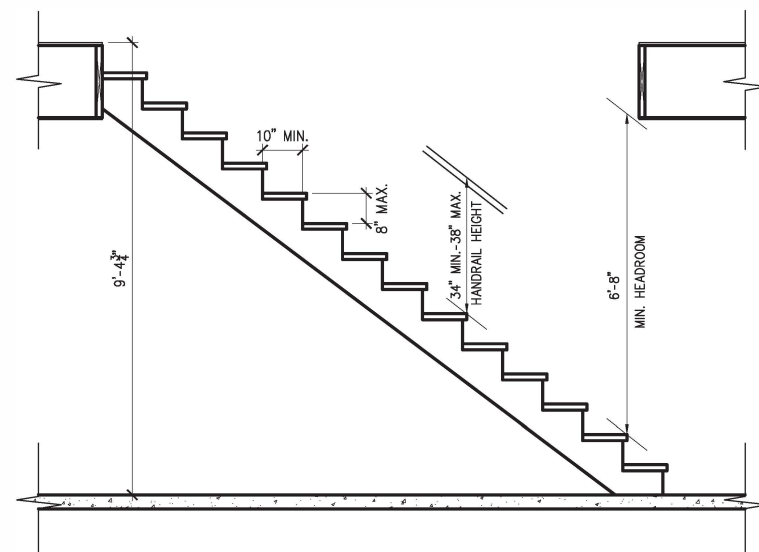
WALL
SIDING (0.34) R-VALUE
HOUSEWRAP (0.17) R-VALUE
7/16" OSB WALL SHEATHING (0.51) R-VALUE
2X6 STUDS
R-19 INSULATION
4 MIL. VAPOR BARRIER
1/2" GYPSUM BOARD (0.45) R-VALUE
TOTAL R-VAULE OF 20+

FLOOR
3/4" FLOOR SHEATHING
18" FLOOR TRUSS

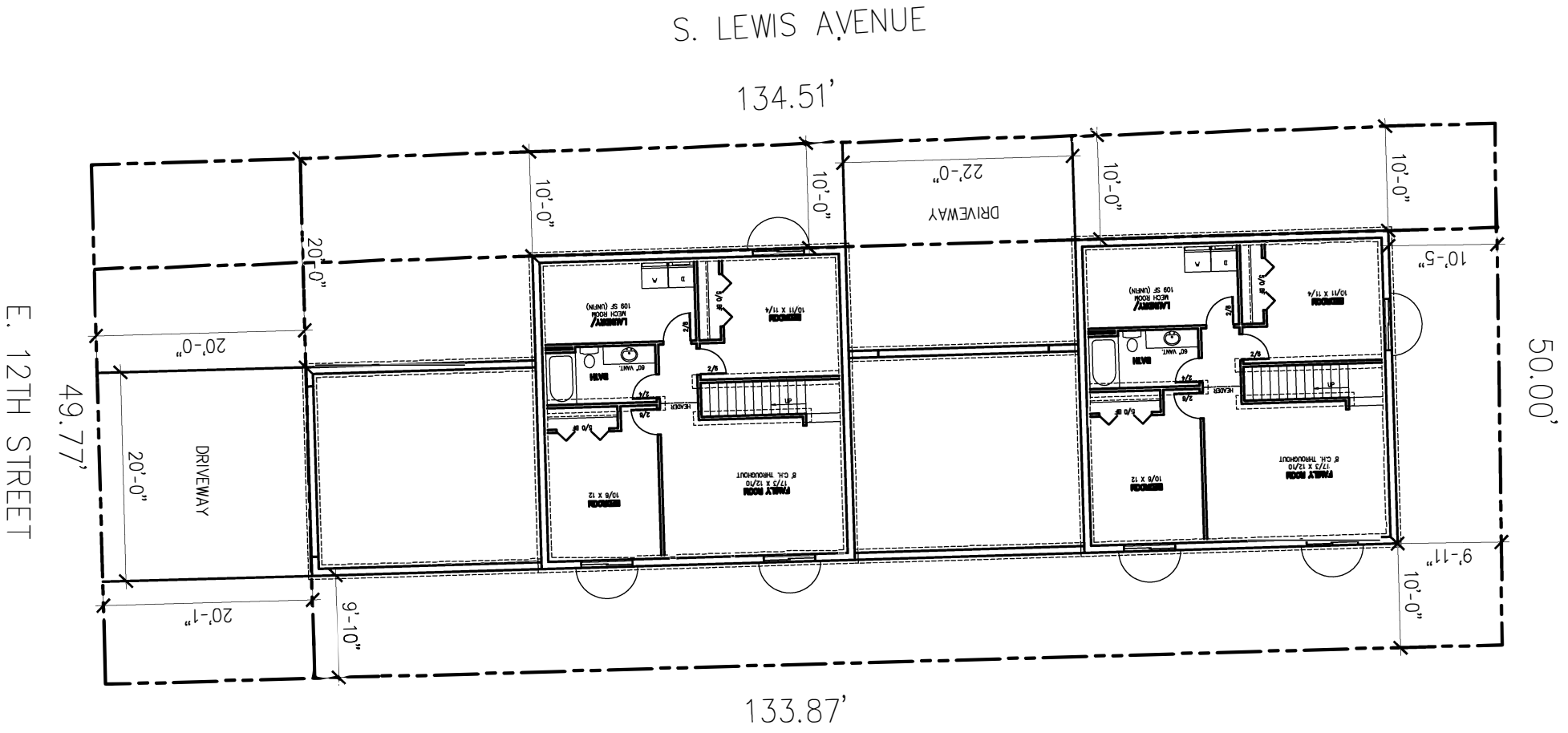
FOUNDATION WALL
2X8 TREATED SILL PLATE
1/2" ANCHOR BOLTS
8" POURED CONCRETE FOUNDATION WALL
W/ #6 REBAR VERT AT 41" O.C.
3 1/2" CONCRETE FLOOR SLAB
16" X 8" CONCRETE FOOTING



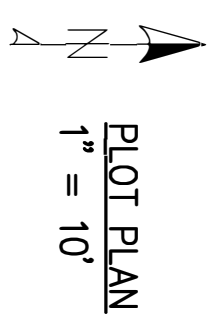
TYPICAL WALL SECTION
1/4"=1'-0"



STAIR SECTION
1/4"=1'-0"



LOT DESCRIPTION
 THE W50' OF LOTS 9-12 IN BLOCK 12
 OF LEWIS HEIGHTS
 TO THE CITY OF SIOUX FALLS, MINNEHAHA COUNTY
 SOUTH DAKOTA
 S. LEWIS AVE / E. 12TH STREET



PRELIMINARY PLAN
 NOT FOR CONSTRUCTION

PLAN # SFL22337	4040 S. GRANGE DR. SIOUX FALLS, SD 57105 (605)336-0860	SCOTT LUMBER A DIVISION OF LAMPERT YARDS, INCORPORATED	VERIFY ALL DIMENSIONS. ALTHOUGH EVERY POSSIBLE EFFORT IS MADE TO INSURE THE ACCURACY OF DIMENSIONS AND OPENINGS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND CONFIRM ALL ROUGH OPENINGS AND OTHER DIMENSIONS FOR ACCURACY.	CUSTOMER: AFFORDABLE HOUSING/ 2000 E 12TH STREET	DRAWN BY: SO
PAGE OF			THESE PLANS DETAIL CONNECTIONS AND SPECIFIC STRUCTURAL MEMBERS FOR NON-STANDARD APPLICATIONS. THE COMPANY/ INDIVIDUAL PERFORMING THE LABOR IS RESPONSIBLE FOR USING PROPER AND ACCEPTED CONSTRUCTION TECHNIQUES FOR STANDARD APPLICATIONS NOT SHOWN ON DRAWINGS. PLEASE ASK YOUR LAMPERT YARDS REPRESENTATIVE ABOUT ANY APPLICATION FOR WHICH YOU ARE UNSURE.	YARD: SIOUX FALLS	REVISID: 7/26/2022