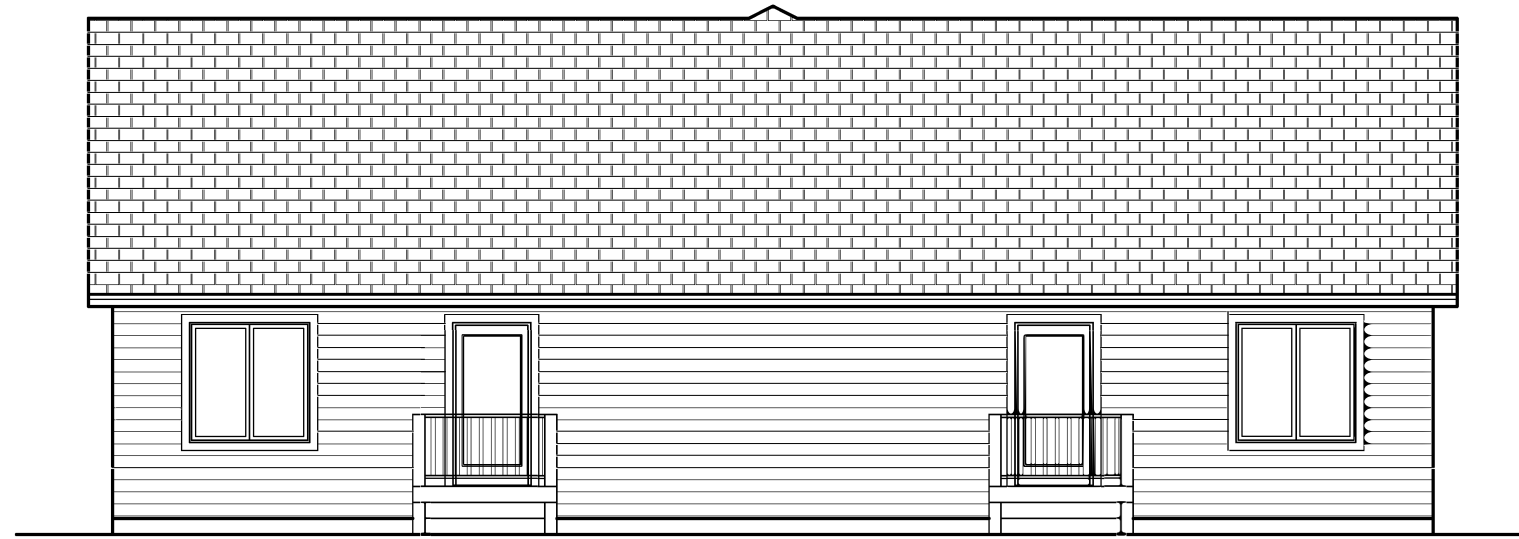


FRONT ELEVATION
1/4"=1'-0"

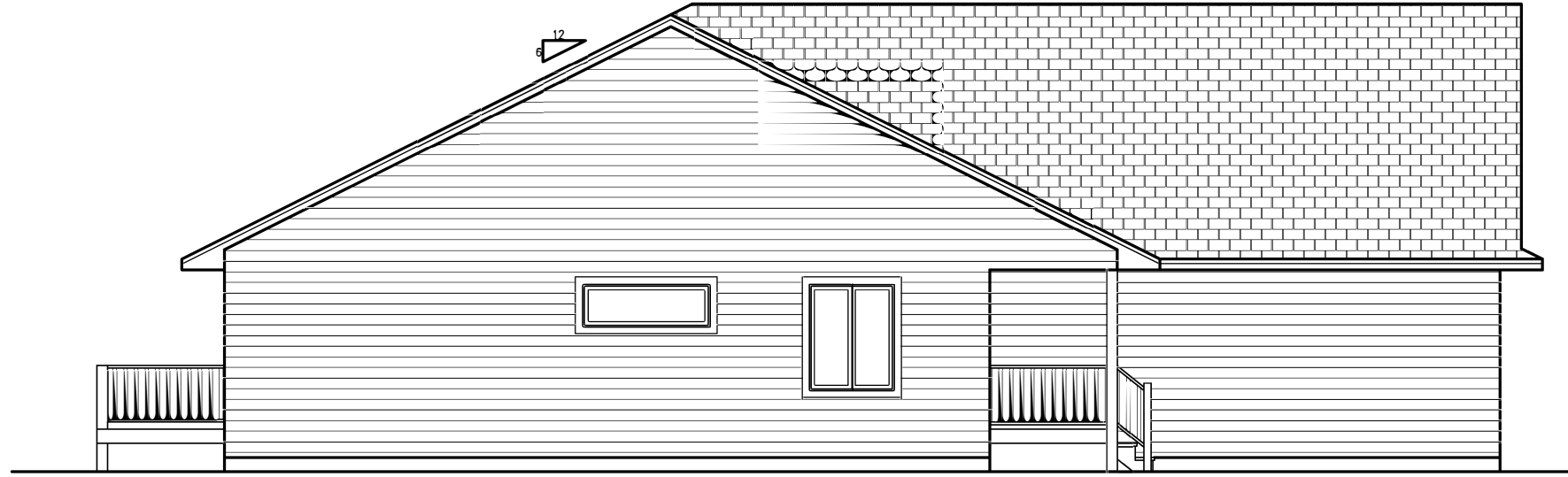


REAR ELEVATION
1/4"=1'-0"

3029-3031 N. WAYLAND AVE

PRELIMINARY PLAN
NOT FOR CONSTRUCTION

PLAN # SFL22331 PAGE 01	SCOTT LUMBER A DIVISION OF LAMPERT YARDS, INCORPORATED	400 S. GRANGE DR. SIOUX FALLS, SD 57105 (605)336-0860	VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND CONFIRM ALL ROUGH OPENINGS AND OTHER DIMENSIONS FOR ACCURACY. THE CLIENT ACCEPTS THE CONTRACTOR'S RESPONSIBILITY FOR ACCURACY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND OTHER DIMENSIONS FOR ACCURACY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND OTHER DIMENSIONS FOR ACCURACY.	CUSTOMER: AFFORDABLE HOUSING - N WAYLAND AVENUE YARD: SIOUX FALLS	DRAWN BY: SO DATE: 7/13/2022	7/13/2022 8:41:46 AM
	AFFORDABLE HOUSING - N WAYLAND AVENUE			DATE: 7/13/2022	DRAWN BY: SO	7/13/2022 8:41:46 AM



LEFT ELEVATION
1/4"=1'-0"



RIGHT ELEVATION
1/4"=1'-0"

3029-3031 N. WAYLAND AVE

PLAN # SFL22331
PAGE 01

PRELIMINARY PLAN
NOT FOR CONSTRUCTION

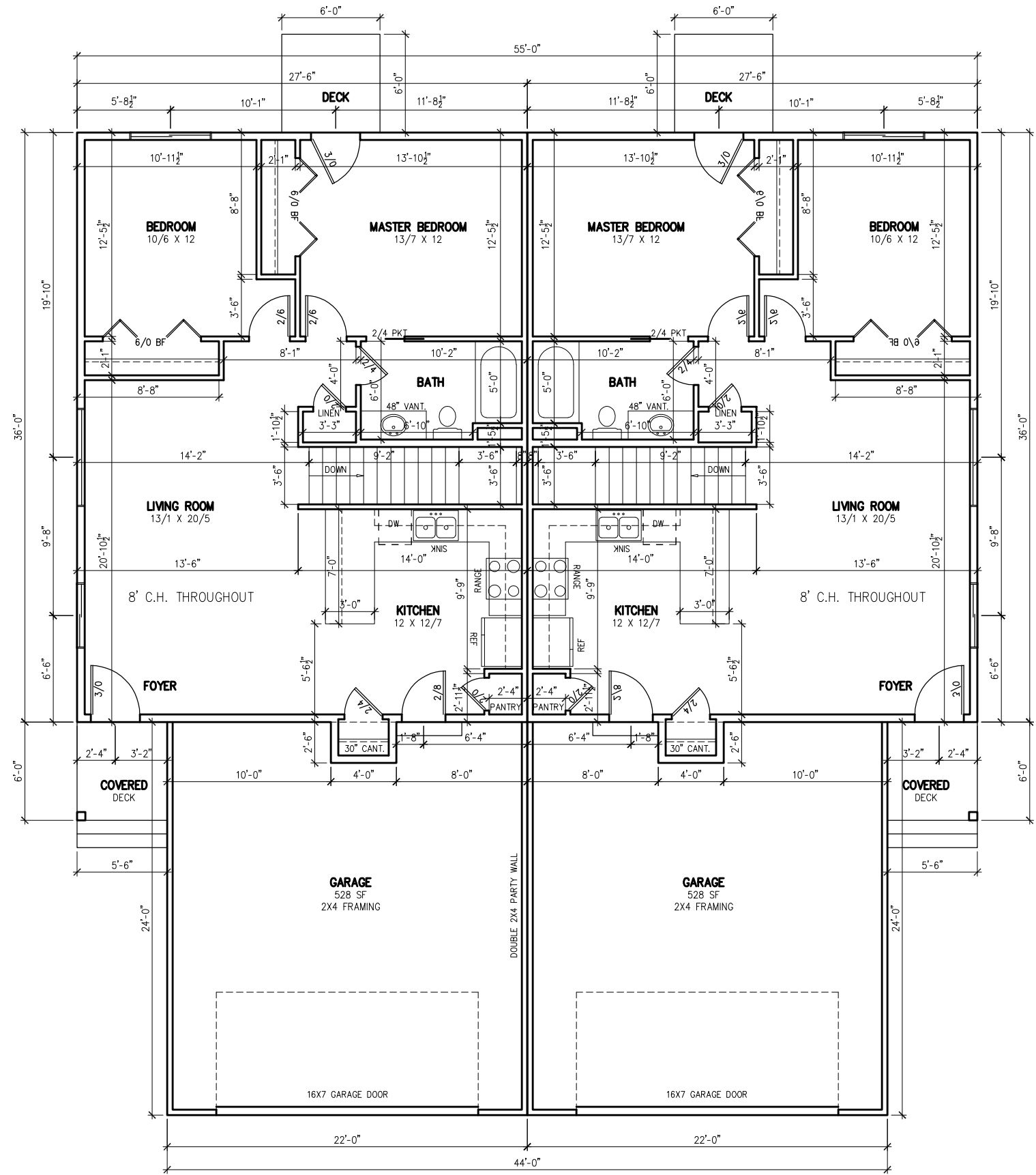
4000 S. GRANGE DR.
SIOUX FALLS, SD
(605)336-0860
SCOTT LUMBER
A DIVISION OF LAMPERT YARDS, INCORPORATED

VERIFY ALL DIMENSIONS - ALTHOUGH EVERY EFFORT IS MADE TO ACCURATELY REPRESENT THE PROJECT, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND CONFIRM ALL ROUGH OPENINGS AND OTHER DIMENSIONS FOR ACCURACY. THERE ARE NO GUARANTEES OR WARRANTIES FOR THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND ADJUSTING CONSTRUCTION TO MATCH THE APPLICABLE SET POINTS FOR MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND ADJUSTING CONSTRUCTION TO MATCH THE APPLICABLE SET POINTS FOR MATERIALS.

CUSTOMER: AFFORDABLE HOUSING - N WAYLAND TWIN-HOME
YARD: SIOUX FALLS

7/13/2022 8:42:02 AM
DRAWN BY: SO
DATE: 7/13/2022
REVISED:

FLOOR PLAN
 1/4"=1'-0"
 1,000 SF



3029-3031 N. WAYLAND AVE

PRELIMINARY PLAN
 NOT FOR CONSTRUCTION

4044 S. GRANGE DR. SIoux FALLS, SD 57105 (605)336-0860

SCOTT LUMBER
 A DIVISION OF LAMPERT YARDS, INCORPORATED

PLAN # SFL22331 PAGE 1 OF 1

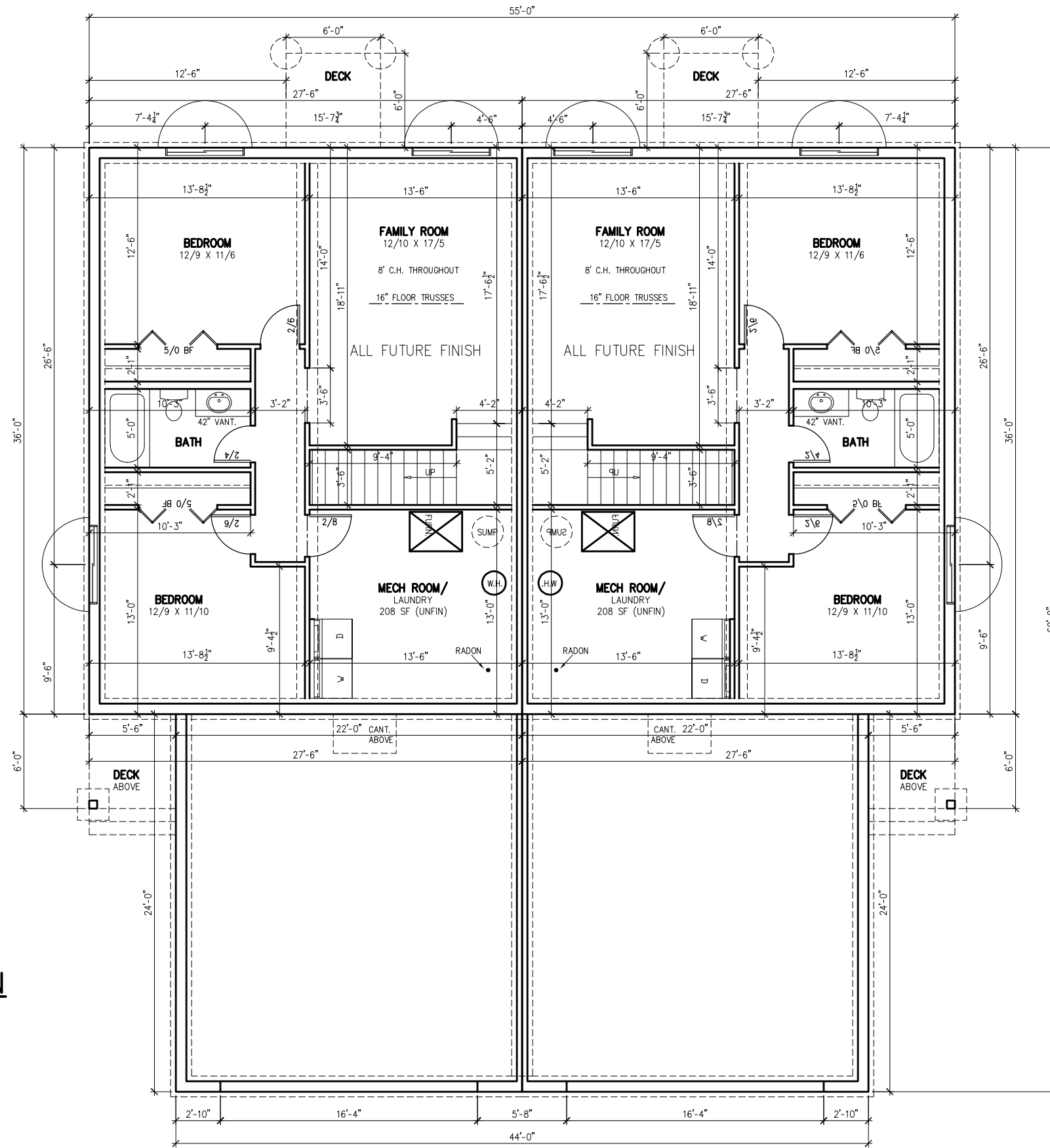
CUSTOMER: AFFORDABLE HOUSING - N. WAYLAND TWIN-HOME
 YARD: SIOUX FALLS

DATE: 7/13/2022
 DRAWN BY: SO
 REVISED: 7/13/2022

7/13/2022 8:42:12 AM

VERIFY ALL DIMENSIONS. ALTHOUGH EVERY POSSIBLE EFFORT IS MADE TO ACCURATELY REFLECT THE DIMENSIONS OF THE PROJECT, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND CONFIRM ALL ROUGH OPENINGS AND OTHER DIMENSIONS FOR ACCURACY. THESE PLANS SHOW CONSTRUCTION AND SPECIFIC STRUCTURAL MEMBERS OR MANUFACTURER SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

FOUNDATION PLAN
 1/4"=1'-0"
 711 SF



3029-3031 N. WAYLAND AVE

PRELIMINARY PLAN
 NOT FOR CONSTRUCTION

4044 S. GRANGE DR. SIOUX FALLS, SD 57105 (605)336-0860 SCOTT LUMBER A DIVISION OF LAMPERT YARDS, INCORPORATED	VERIFY ALL DIMENSIONS THROUGH EVERY POSSIBLE EFFORT IS MADE TO CHECK FOR ACCURACY OF ALL DIMENSIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND CONFIRMING ALL ROUGH OPENINGS AND OTHER DIMENSIONS FOR ACCURACY. THESE PLANS, SPECIFICATIONS AND NOTES ARE SUBJECT TO CHANGE WITHOUT NOTICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF THE SITE PRIOR TO CONSTRUCTION.	CUSTOMER: AFFORDABLE HOUSING - N. WAYLAND TWIN-HOME	DRAWN BY: SO
	DATE: 7/13/2022	YARD: SIOUX FALLS	REVIEWED: SO

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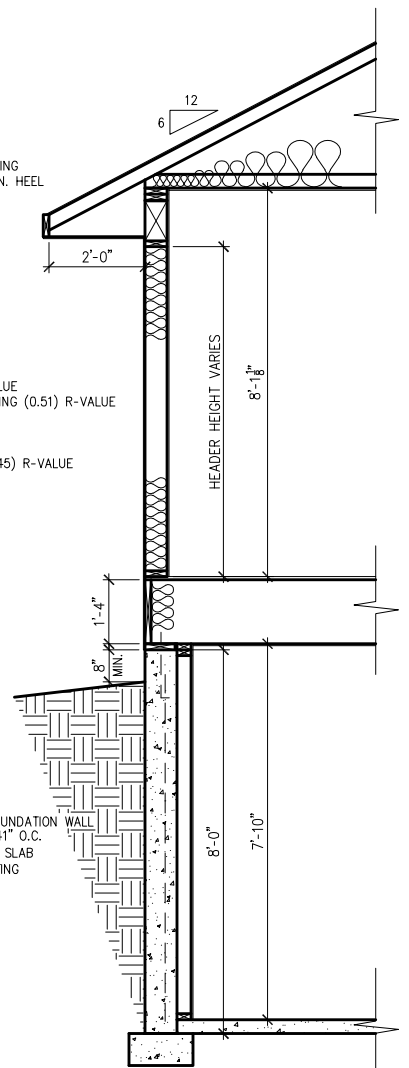
PLAN # SFL22331
 PAGE 01

ROOF
 ASPHALT SHINGLES
 15# ASPHALT FELT
 7/16" OSB ROOF SHEATHING
 ROOF TRUSSES W/ 6" MIN. HEEL
 R-49 CEILING INSULATION
 STYLE "D" ROOF EDGE
 1X6 FASCIA AND
 VENTED SOFFIT SYSTEM

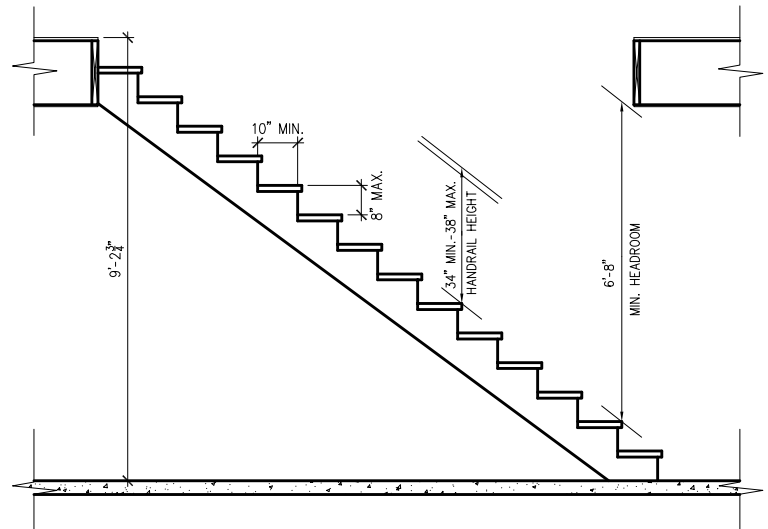
WALL
 SIDING (0.34) R-VALUE
 HOUSEWRAP (0.17) R-VALUE
 7/16" OSB WALL SHEATHING (0.51) R-VALUE
 2X6 STUDS
 R-19 INSULATION
 4 MIL. VAPOR BARRIER
 1/2" GYPSUM BOARD (0.45) R-VALUE
 TOTAL R-VALE OF 20+

FLOOR
 3/4" FLOOR SHEATHING
 16" FLOOR TRUSS

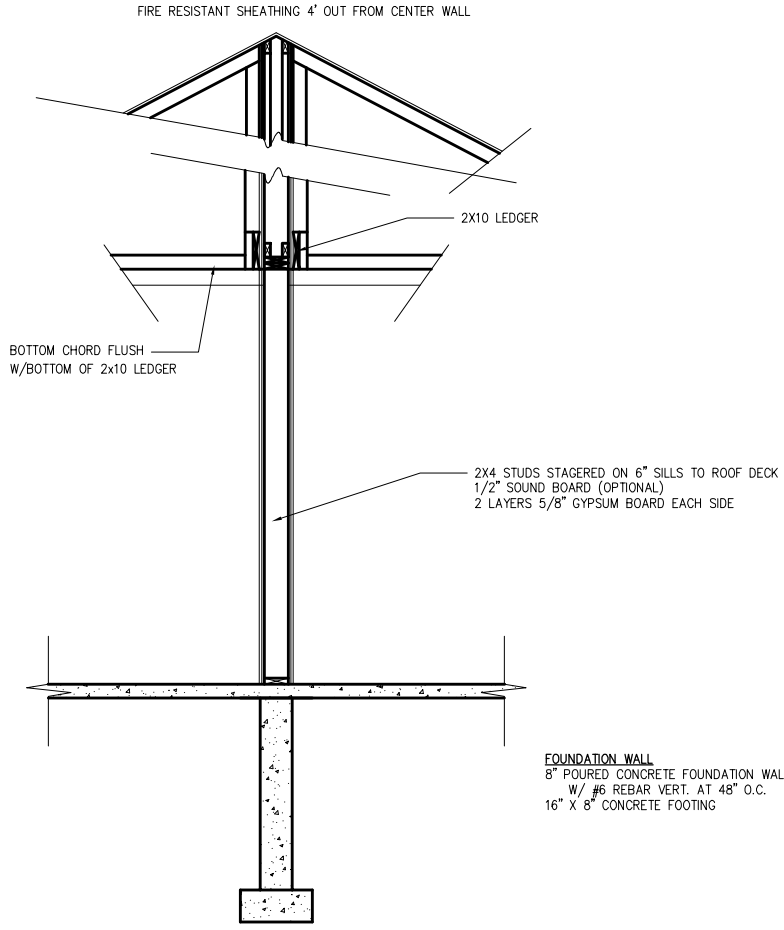
FOUNDATION WALL
 2X8 TREATED SILL PLATE
 1/2" ANCHOR BOLTS
 8" POURED CONCRETE FOUNDATION WALL
 W/ #6 REBAR VERT AT 41" O.C.
 3 1/2" CONCRETE FLOOR SLAB
 16" X 8" CONCRETE FOOTING



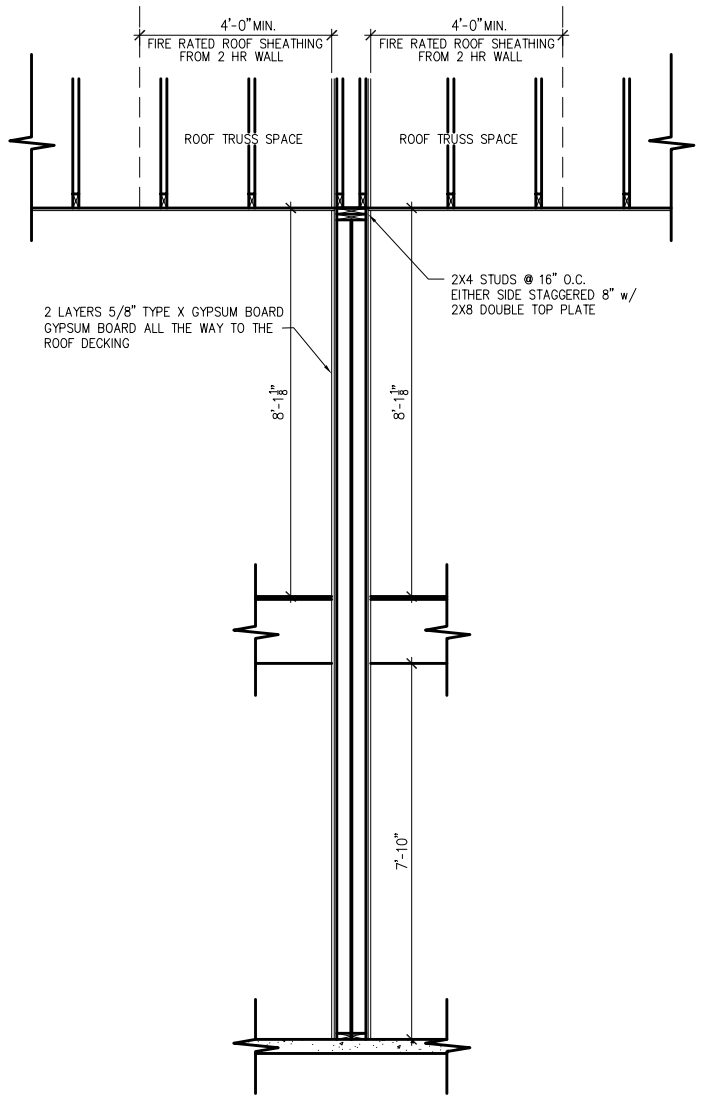
TYPICAL WALL SECTION
 1/4"=1'-0"



STAIR SECTION
 1/4"=1'-0"



GARAGE PARTY WALL SECTION
 1/2"=1'-0"



PARTY WALL SECTION
 1/4"=1'-0"

PRELIMINARY PLAN
 NOT FOR CONSTRUCTION

3029-3031 N. WAYLAND AVE

4044 S. GRANGE DR. SIOUX FALLS, SD 57105 (605)336-0860
SCOTT LUMBER
 A DIVISION OF LAMPERT YARDS, INCORPORATED

PLAN # SFL22331 OF PAGE

CUSTOMER: AFFORDABLE HOUSING - N. WAYLAND TWIN-HOME
 YARD: SIOUX FALLS

DATE: 7/13/2022
 DRAWN BY: SO
 REVISED: 7/13/2022