

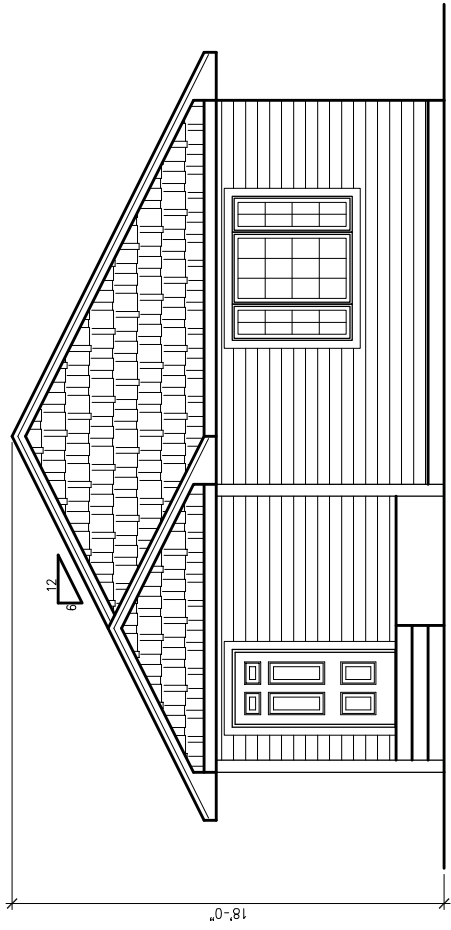


SCOTT LUMBER
440 S. GRANGE DR
SIOUX FALLS, SD 57105
(605) 336-0880
A DIVISION OF LAMPERT YARDS, INCORPORATED

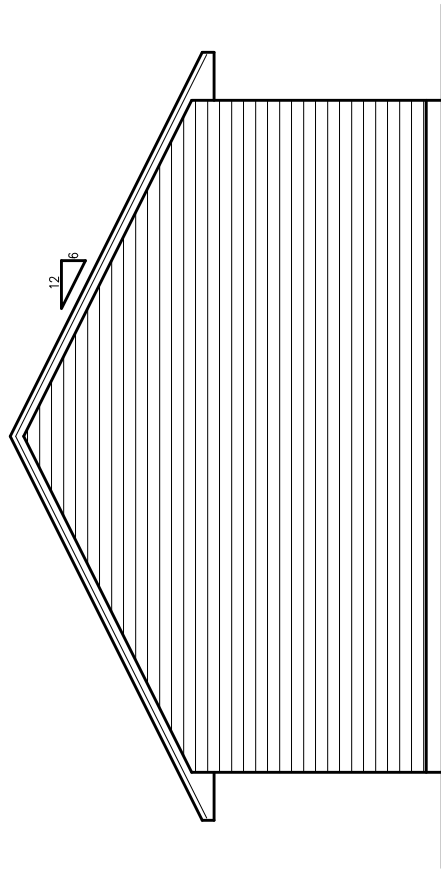
VERIFY ALL DIMENSIONS
ALTHOUGH EVERY POSSIBLE EFFORT IS MADE
TO INSURE THE ACCURACY OF DIMENSIONS AND
ROUGH OPENINGS AND OTHER DIMENSIONS FOR ACCURACY.
IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND CONFIRM ALL
DIMENSIONS AND CONDITIONS FOR CONSTRUCTION. THE COMPANY ASSUMES
NO RESPONSIBILITY FOR LOSS OF PERSONS OR PROPERTY OR FOR DAMAGE TO
PROPERTY OR MATERIALS CAUSED BY THE CONTRACTOR'S NEGLIGENCE OR
OTHER CAUSES. THESE PLANS ARE FOR INFORMATION ONLY AND ARE NOT
TO BE USED FOR CONSTRUCTION WITHOUT THE WRITTEN APPROVAL OF THE
ENGINEER. PLEASE REFER TO THE SPECIFICATIONS FOR MORE INFORMATION.
THESE PLANS DETAIL CONNECTIONS AND SPECIFIC STRUCTURAL MEMBERS FOR NON-STANDARD APPLICATIONS.
THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL
APPLICABLE AGENCIES. THESE PLANS DO NOT REPRESENT ANY WARRANTY OR GUARANTEE OF ANY KIND.

CUSTOMER: AFFORDABLE HOUSING (1305 E. 8TH ST.)
YARD: SIOUX FALLS
DATE: 5/14/2019
DRAWN BY: SO
REVISED:

5/18/2019 10:28:21 AM



FRONT ELEVATION
1/4"=1'-0"



REAR ELEVATION
1/4"=1'-0"

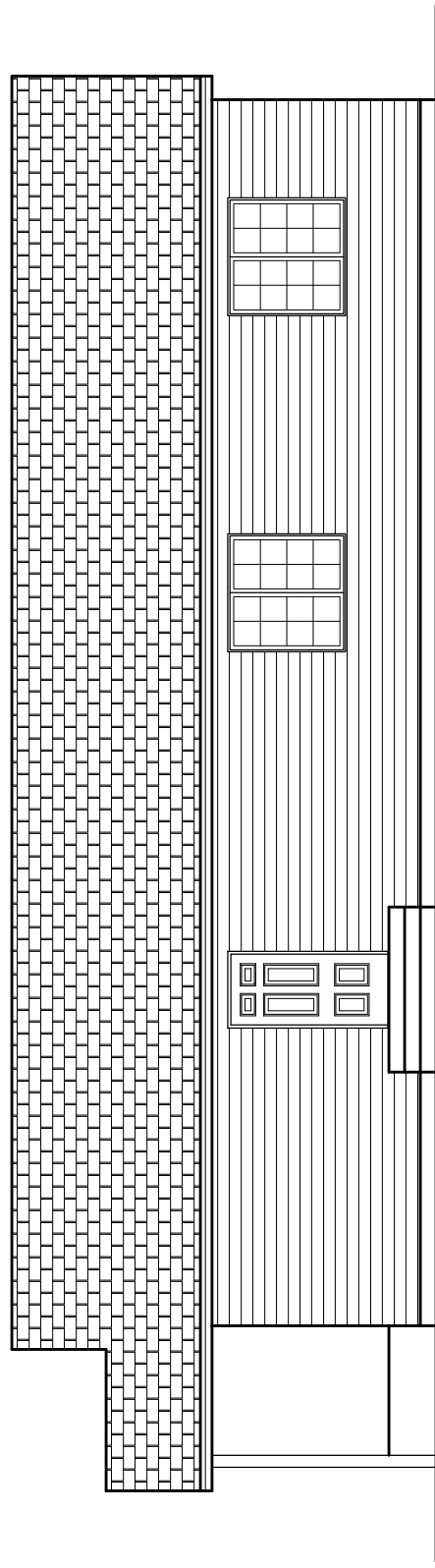


SCOTT LUMBER
 404 S. GARDNER DR.
 SIOUX FALLS, SD 57105
 (605) 555-0880
 A DIVISION OF LAMPERT YARDS, INCORPORATED

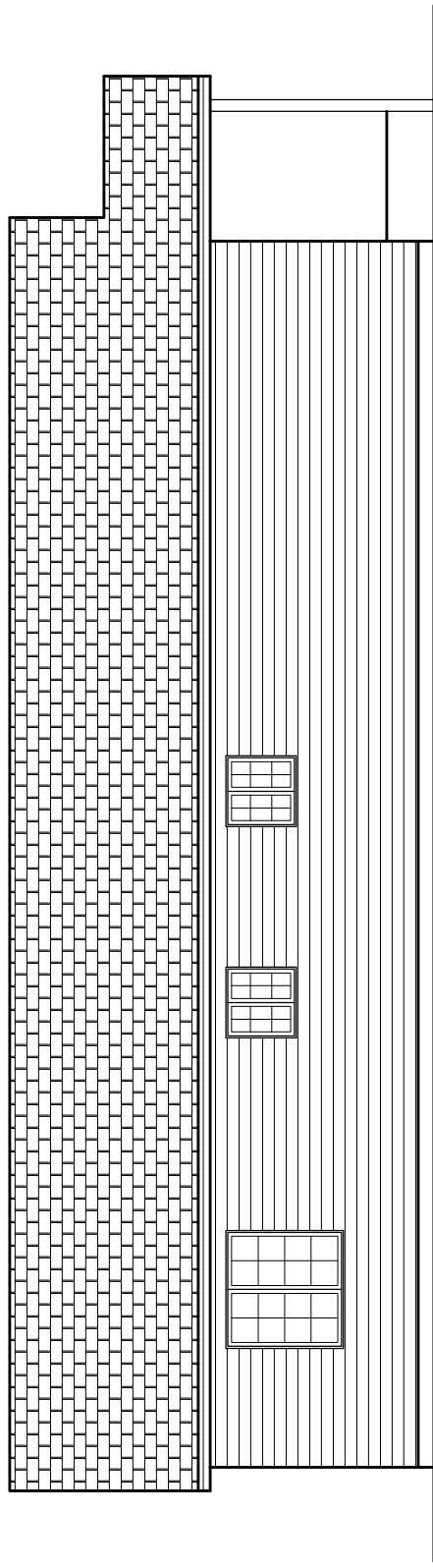
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 THESE PLANS DETAIL CONNECTIONS AND SPECIFIC STRUCTURAL MEMBERS FOR NON-STANDARD APPLICATIONS. THE COMPANY ACCEPTS
 NO LIABILITY FOR DAMAGE TO PROPERTY OR PERSONS ARISING FROM THE USE OF THESE PLANS UNLESS REPRESENTATIVE ABOUT ANY APPLICATION FOR WHICH YOU ARE USING
 THEM.

CUSTOMER: AFFORDABLE HOUSING (1305 E. 8TH ST.)
 YARD: SIOUX FALLS
 DATE: 5/14/2019
 DRAWN BY: SO
 REVISIONS:

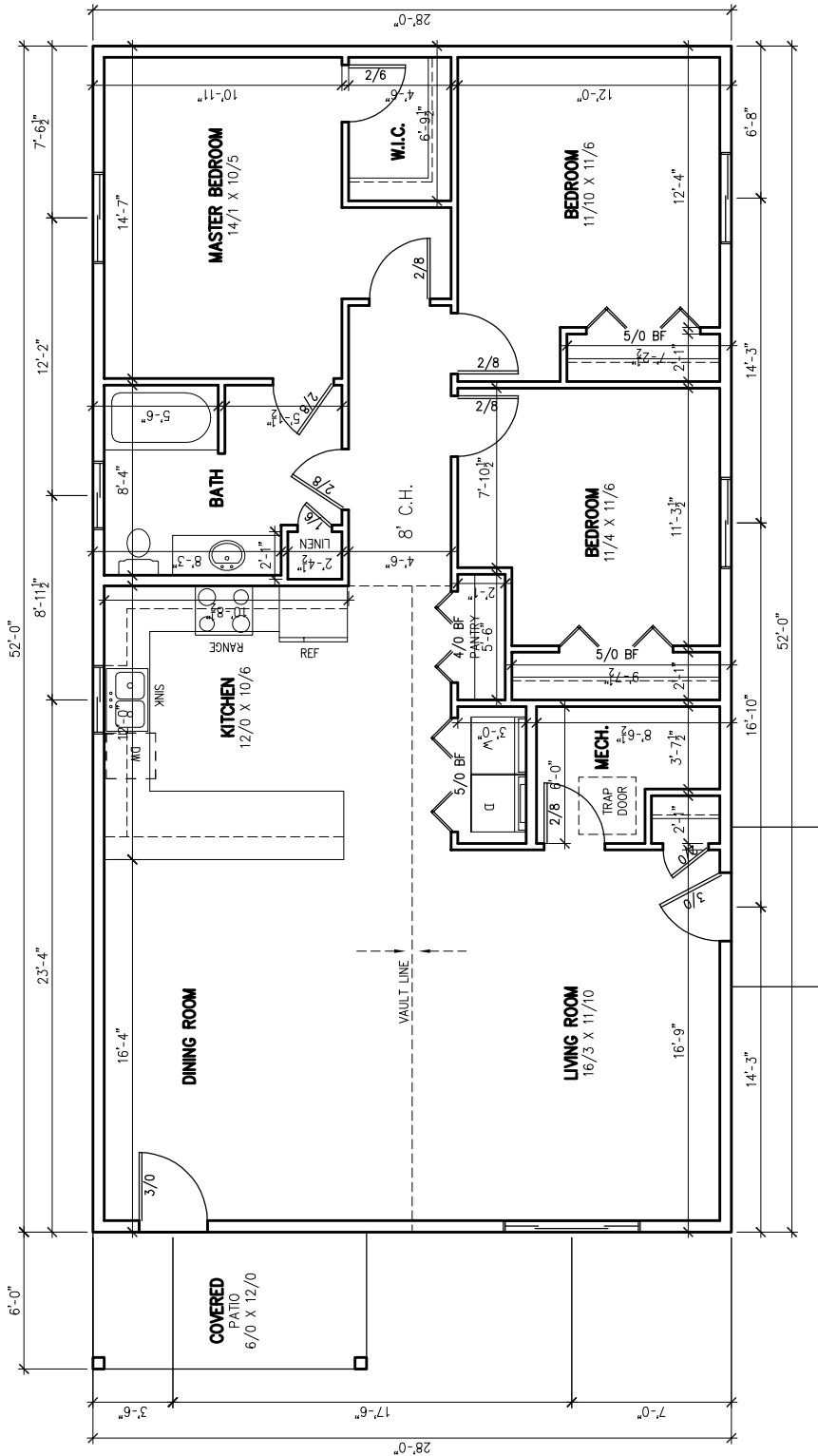
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RIGHT ELEVATION
 1/4"=1'-0"



LEFT ELEVATION
 1/4"=1'-0"



FLOOR PLAN
 1/4"=1'-0"
 1456 SF

5/18/2019 10:28:39 AM

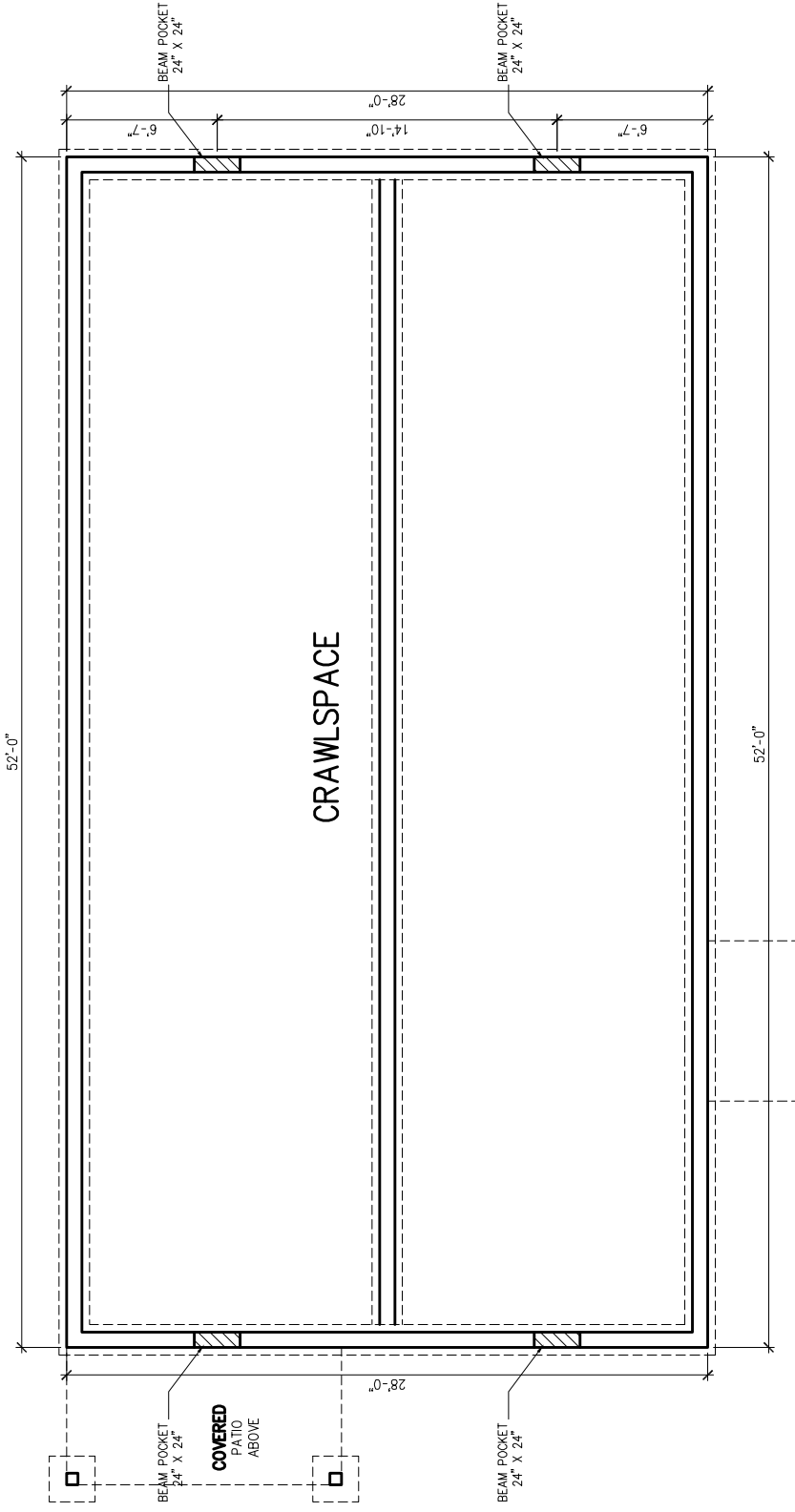


404 S. GARDNER DR.
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(605) 556-0888
SCOTT LUMBER
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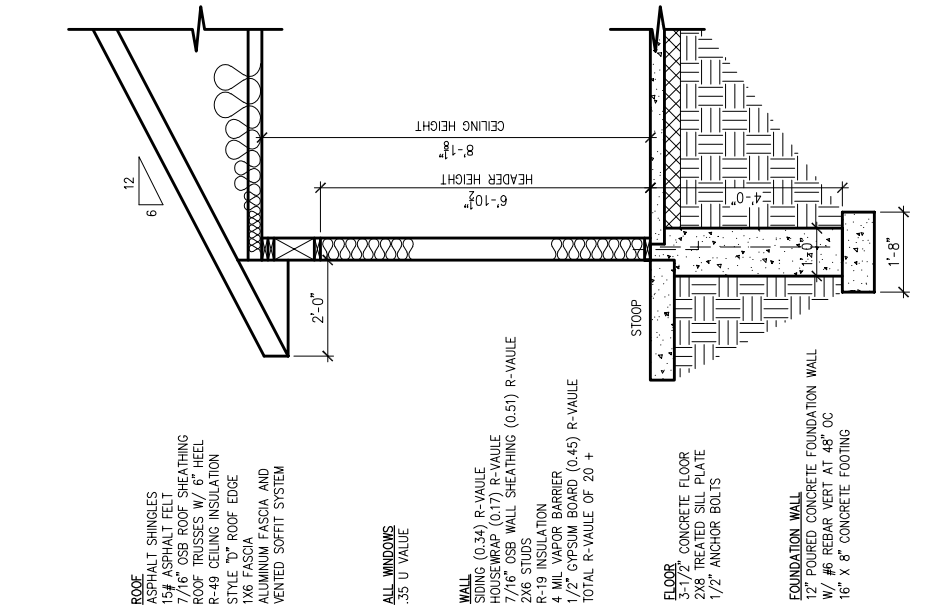
VERIFY ALL DIMENSIONS
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ROUGH OPENINGS AND OTHER DIMENSIONS FOR ACCURACY.
PERFORM THE LABOR REQUIRED FOR GOOD MEASUREMENTS. THE COMPANY, HOWEVER,
CANNOT BE HELD RESPONSIBLE FOR ERRORS OR OMISSIONS WHICH MAY BE MADE BY
THE CONTRACTOR. THESE PLANS ARE FOR INFORMATION ONLY AND ARE NOT TO BE USED
FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN PERMISSION OF THE COMPANY.

CUSTOMER: AFFORDABLE HOUSING (1305 E. 8TH ST.)
YARD: SIOUX FALLS
DATE: 5/14/2019
DRAWN BY: SO
REVIEWED:

5/18/2019 10:28:46 AM



FOUNDATION PLAN
1/4"=1'-0"



- ROOF**
- ASPHALT SHINGLES
 - 15# ASPHALT FELT
 - 7/16" OSB ROOF SHEATHING
 - ROOF TRUSSES W/ 6" HEEL
 - R-49 CEILING INSULATION
 - STYLE "D" ROOF EDGE
 - 1X6 FASCIA
 - ALUMINUM FASCIA AND VENTED SOFFIT SYSTEM

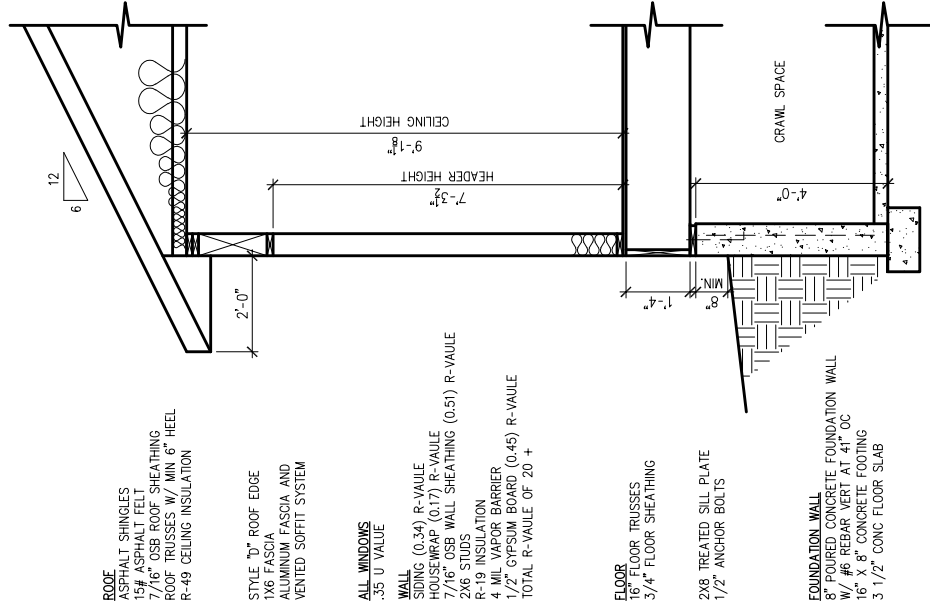
ALL WINDOWS
.35 U VALUE

- WALL**
- SIDING (0.34) R-VALE
 - HOUSEWRAP (0.17) R-VALE
 - 7/16" OSB WALL SHEATHING (0.51) R-VALE
 - 2X6 STUDS
 - R-19 INSULATION
 - 4 MIL VAPOR BARRIER
 - 1/2" GYPSUM BOARD (0.45) R-VALE
 - TOTAL R-VALE OF 20 +

- FLOOR**
- 3-1/2" CONCRETE FLOOR
 - 2X8 TREATED SILL PLATE
 - 1/2" ANCHOR BOLTS

- FOUNDATION WALL**
- 12" POURED CONCRETE FOUNDATION WALL
 - W/ #6 REBAR VERT AT 48" OC
 - 16" X 8" CONCRETE FOOTING

SECTION
1/2"=1'-0"



- ROOF**
- ASPHALT SHINGLES
 - 15# ASPHALT FELT
 - 7/16" OSB ROOF SHEATHING
 - ROOF TRUSSES W/ MIN 6" HEEL
 - R-49 CEILING INSULATION

- STYLE "D" ROOF EDGE**
- 1X6 FASCIA
 - ALUMINUM FASCIA AND VENTED SOFFIT SYSTEM

ALL WINDOWS
.35 U VALUE

- WALL**
- SIDING (0.34) R-VALE
 - HOUSEWRAP (0.17) R-VALE
 - 7/16" OSB WALL SHEATHING (0.51) R-VALE
 - 2X6 STUDS
 - R-19 INSULATION
 - 4 MIL VAPOR BARRIER
 - 1/2" GYPSUM BOARD (0.45) R-VALE
 - TOTAL R-VALE OF 20 +

- FLOOR**
- 16" FLOOR TRUSSES
 - 3/4" FLOOR SHEATHING

- 2X8 TREATED SILL PLATE
- 1/2" ANCHOR BOLTS

- FOUNDATION WALL**
- 8" POURED CONCRETE FOUNDATION WALL
 - W/ #6 REBAR VERT AT 41" OC
 - 16" X 8" CONCRETE FOOTING
 - 3 1/2" CONC FLOOR SLAB

SECTION
1/2"=1'-0"



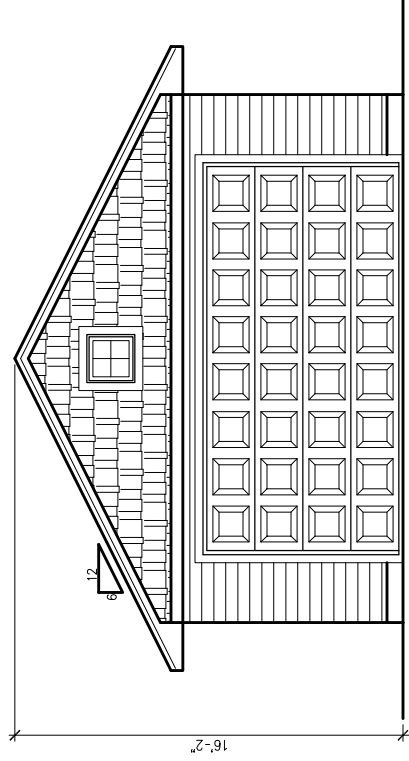
SCOTT LUMBER
 4140 S. GRANGE DR
 SIOUX FALLS, SD 57105
 (605) 336-0880

PLAN # SFL17677
 PAGE 1 OF 5

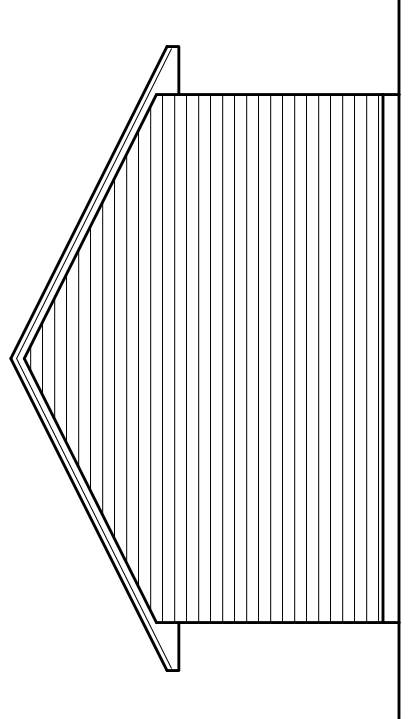
VERIFY ALL DIMENSIONS
 TO INSURE THE ACCURACY OF DIMENSIONS AND
 TO INSURE THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND CONFIRM ALL
 ROUGH OPENINGS AND OTHER DIMENSIONS FOR ACCURACY.
 THESE PLANS DETAIL CONNECTIONS AND SPECIFIC STRUCTURAL MEMBERS FOR NON-STANDARD APPLICATIONS. THE COMPANY/INDIVIDUAL
 PREPARING THE LUMBER IS RESPONSIBLE FOR CHECKING DIMENSIONS FOR STANDARD APPLICATIONS. THE COMPANY/INDIVIDUAL
 CANNOT BE HELD RESPONSIBLE FOR CHECKING DIMENSIONS FOR NON-STANDARD APPLICATIONS FOR WHICH YOU ARE RESPONSIBLE.

YARD: SIOUX FALLS
 DATE: 5/14/2019
 CUSTOMER: AFFORDABLE HOUSING (1305 E. 8TH ST.)
 DRAWN BY: SO

REVISIONS:
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FRONT ELEVATION
 1/4"=1'-0"



REAR ELEVATION
 1/4"=1'-0"



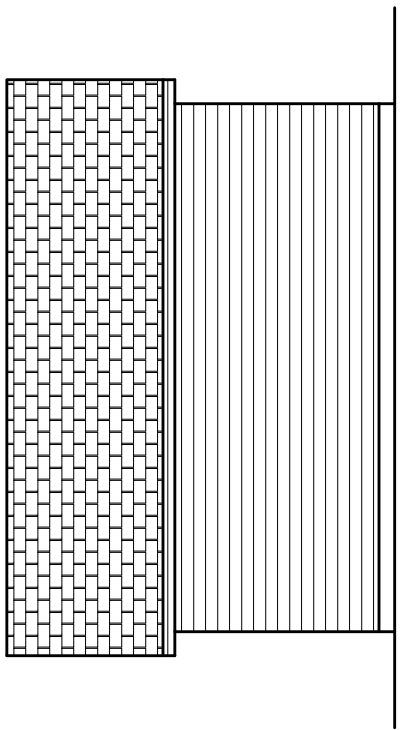
SCOTT LUMBER
 4240 S. GRANGE DR
 SIOUX FALLS, SD 57105
 (605) 556-0880
 A DIVISION OF LAMPERT YARDS, INCORPORATED

PLAN # SFL17677
 PAGE 2 OF 5

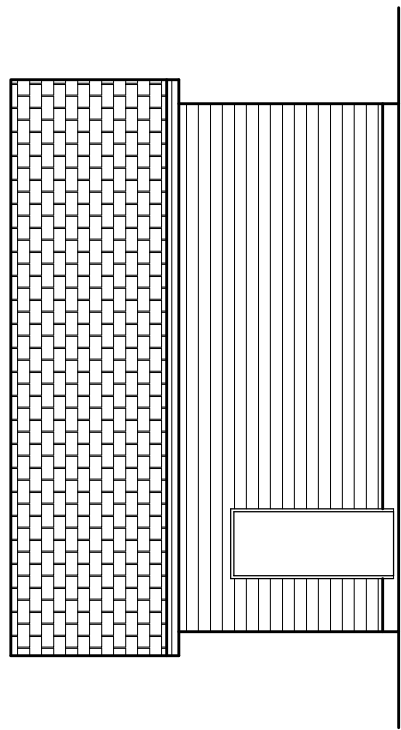
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 THESE PLANS DETAIL CONNECTIONS AND SPECIFIC STRUCTURAL MEMBERS FOR NON-STANDARD APPLICATIONS. THE COMPANY ACCEPTS
 NO LIABILITY FOR DAMAGE TO PROPERTY OR PERSONS ARISING FROM THE USE OF THESE PLANS UNLESS REPRESENTATIVE ABOUT ANY APPLICATION FOR WHICH YOU ARE USING
 THEM ON BEHALF OF THE USER. PLEASE READ THE LAMPERT YARDS WEBSITE FOR STANDARD APPLICATIONS AND CHECK FOR ANY LOCAL CODES OR ORDINANCES THAT MAY APPLY.

YARD: SIOUX FALLS
 DATE: 5/14/2019
 CUSTOMER: AFFORDABLE HOUSING (1305 E. 8TH ST.)
 DRAWN BY: SO

REVISIONS:
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RIGHT ELEVATION
 1/4"=1'-0"



LEFT ELEVATION
 1/4"=1'-0"

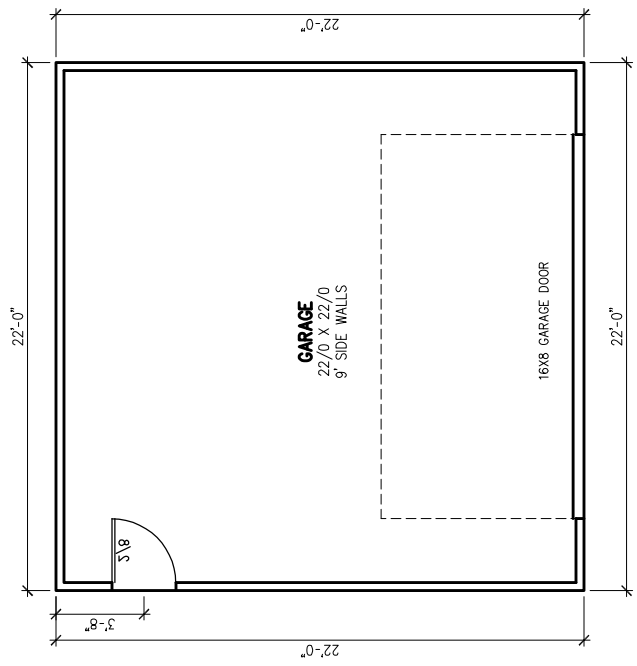


484 S. GRANGE DR
SIOUX FALLS, SD 57105
(605)356-0880
SCOTT LUMBER
A DIVISION OF LAMPERT YARDS, INCORPORATED

VERIFY ALL DIMENSIONS
ALTHOUGH EVERY POSSIBLE EFFORT IS MADE
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ROUGH OPENINGS AND OTHER DIMENSIONS FOR ACCURACY.
THESE PLANS DETAIL CONNECTIONS AND SPECIFIC STRUCTURAL MEMBERS FOR NON-STANDARD APPLICATIONS. THE COMPANY ASSUMES
NO RESPONSIBILITY FOR LOADS, STRESSES AND ACCEPTED DESIGN PRACTICES FOR STANDARD APPLICATIONS.
PLEASE REFER TO YOUR LAMPERT YARDS REPRESENTATIVE ABOUT ANY APPLICATION FOR WHICH YOU ARE UNSURE.

CUSTOMER: AFFORDABLE HOUSING (1305 E. 8TH ST.)
YARD: SIOUX FALLS
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FLOOR PLAN
1/4"=1'-0"
484 SF



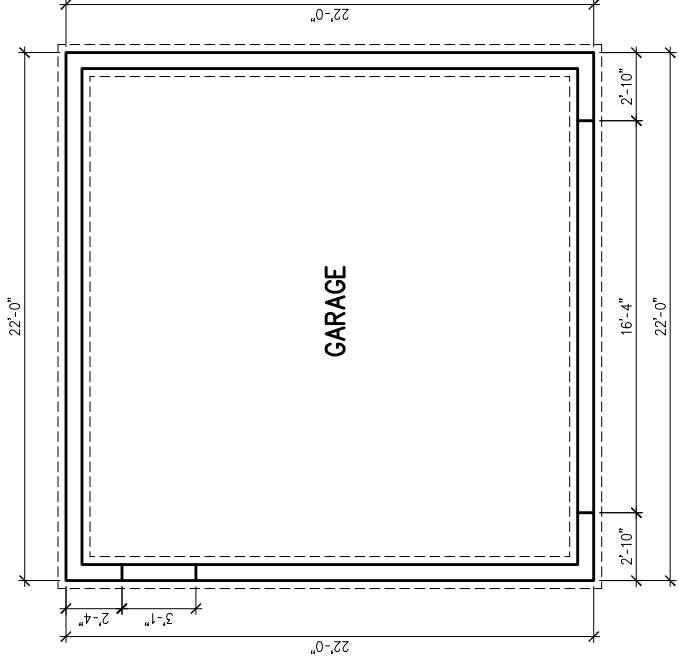
4440 S. GRANGE DR
 SIOUX FALLS, SD 57105
 (605) 556-0880
 SCOTT LUMBER
 A DIVISION OF LAMPERT YARDS, INCORPORATED

PLAN # SFL17677
 PAGE 4 OF 5

VERIFY ALL DIMENSIONS
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 NO LIABILITY FOR DAMAGE TO PROPERTY OR PERSONS ARISING FROM THE USE OF THESE PLANS UNLESS REPRESENTATIVE ABOUT ANY APPLICATION FOR WHICH YOU ARE USING
 THEM ON BEHALF OF THE COMPANY. PLEASE READ THE LAMPERT YARDS WEBSITE FOR STANDARD APPLICATIONS.

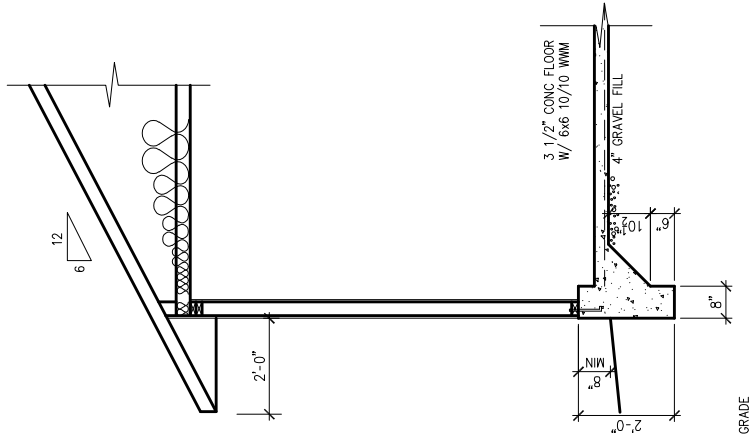
CUSTOMER: AFFORDABLE HOUSING (1305 E. 8TH ST.)
 YARD: SIOUX FALLS
 DATE: 5/14/2019
 DRAWN BY: SO
 REVISED:

5/18/2019 10:29:31 AM



GARAGE

FOUNDATION PLAN
 1/4"=1'-0"



ROOF

- ASPHALT SHINGLES
- 1-LAYER 15# ASPHALT FELT
- 1/2" PLYWOOD
- MANUFACTURED TRUSSES
- PROVIDE 1" MINIMUM AIR CHUTE EACH TRUSS SPACE
- WEATHERGUARD

1 X 6 FASCIA

AND VENTED SOFFIT SYSTEM

WALL

- 3" LAP SIDING
- HOUSEWRAP
- 1/2" OSB SHEATHING
- 2 X 4 - STUDS @ 16" O.C.
- R-13 UNFACED INSULATION

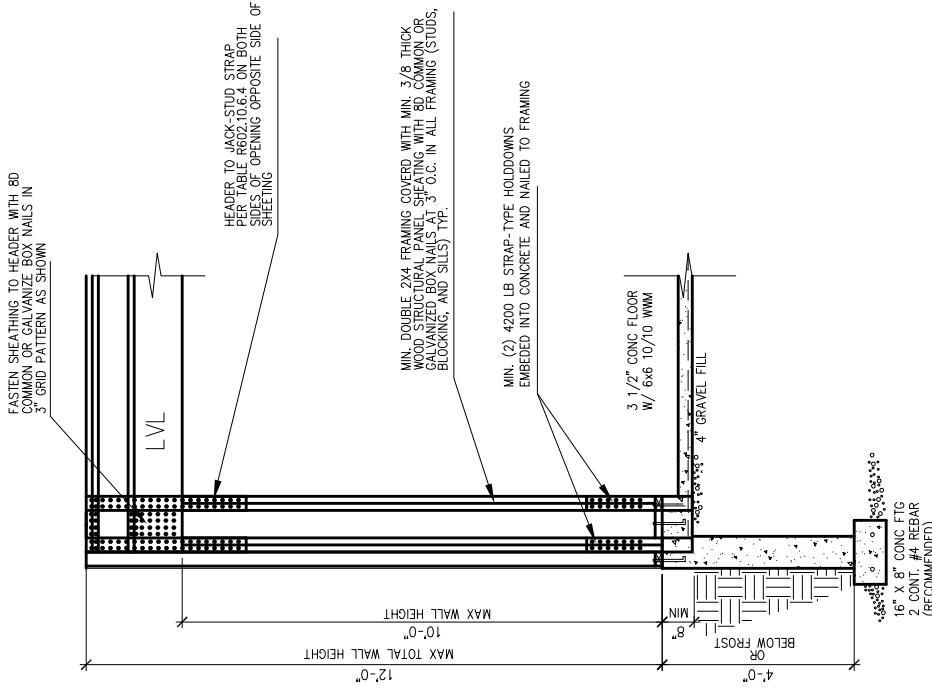
FOUNDATION WALL

- 2 X 6 TREATED SILL PLATE WITH SEALER
- 1/2" O X 8" ANCHOR BOLTS @ 6' - 0" O.C.

GRADE SLOPES 1/2" PER FOOT FOR 10' MINIMUM AWAY FROM BUILDING

8" POURED CONC WALL SLAB ON GRADE

WALL SECTION
1/2"=1'-0"



FASTEN SHEATHING TO HEADER WITH 8D COMMON OR GALVANIZE BOX NAILS IN 3" GRID PATTERN AS SHOWN

LVL

HEADER TO JACK STUD STRIP PER TABLE 4602-10.14 ON BOTH SIDES OF OPENING OPPOSITE SIDE OF SHEATHING

MIN. DOUBLE 2X4 FRAMING COVERED WITH MIN. 3/8" THICK MIN. STRUCTURAL FRAMING SHEATHING WITH MIN. GALVANIZED BOX NAILS AT 3" O.C. IN ALL FRAMING (STUDS, BLOCKING, AND SILLS) TYP.

MIN. (2) 4200 LB STRAP-TYPE HOLDDOWNS EMBEDDED INTO CONCRETE AND NAILED TO FRAMING

3 1/2" CONC FLOOR W/ 4" GRAVEL FILL

4" OR MIN. BELOW FROST

16" X 8" CONC FTG
2 CONT #4 REBAR
(RECOMMENDED)

WALL SECTION
1/4"=1'-0"

VERIFY ALL DIMENSIONS
ALTHOUGH EVERY POSSIBLE EFFORT IS MADE
TO INSURE THE ACCURACY OF DIMENSIONS AND
OPENINGS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND CONFIRM ALL
DIMENSIONS AND OPENINGS FOR EXACT MATCHES FOR STANDARD APPLICATIONS. THE CONTRACTOR
REMAINS THE SOLE RESPONSIBLE FOR CHECKING AND ACCEPTING ALL DIMENSIONS AND OPENINGS. NOT
WITHSTANDING THE ABOVE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY APPLICATIONS FOR WHICH HE IS NOT
DESIGNED. PLEASE ASK YOUR ARCHITECT FOR NON-STANDARD APPLICATIONS.

4445 S. GRANGE DR
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57105
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