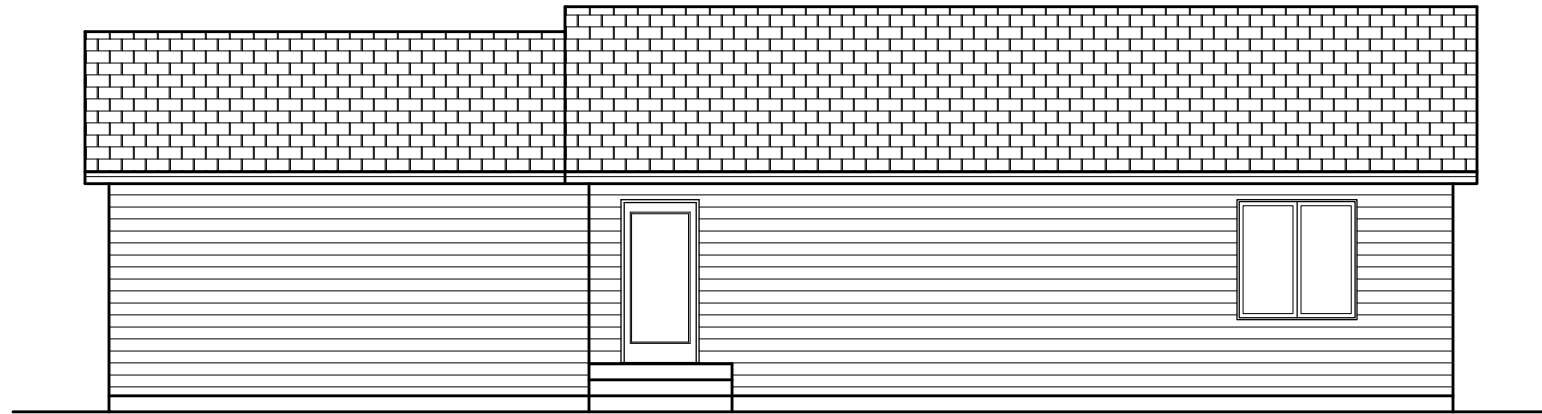





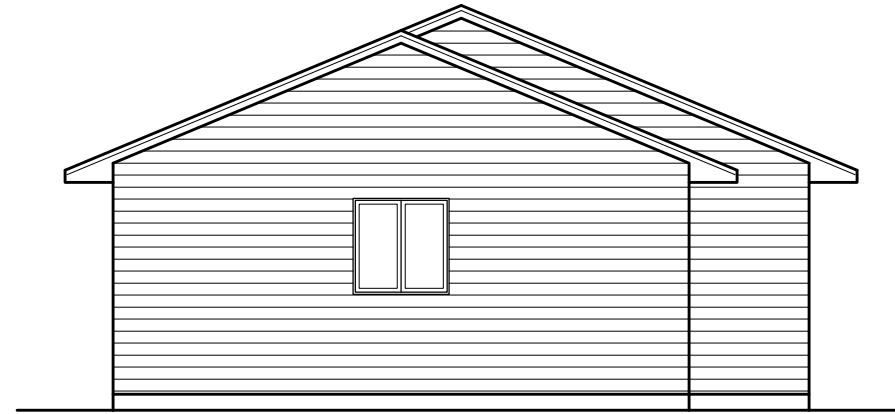
FRONT ELEVATION
1/4"=1'-0"



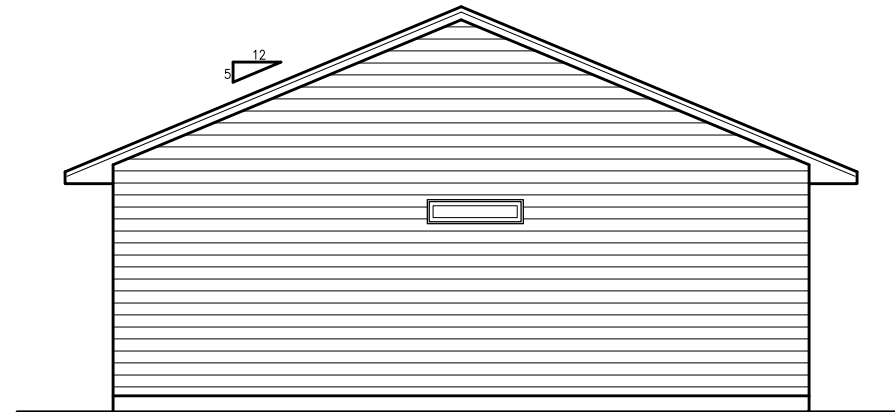
REAR ELEVATION
1/4"=1'-0"

PRELIMINARY PLAN
NOT FOR CONSTRUCTION

PLAN # SEL19592 PAGE OF	SCOTT LUMBER A DIVISION OF LAMPERT YARDS, INCORPORATED 	4044 S. GRANGE DR. SIOUX FALLS, SD (605)338-0860	VERIFY ALL DIMENSIONS. ALTHOUGH EVERY POSSIBLE EFFORT IS MADE TO ACCURATELY REPRESENT THE PROJECT, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND OPENINGS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND CONFIRM ALL ROUGH OPENINGS AND OTHER DIMENSIONS FOR ACCURACY. THESE PLANS, SPECIFICATIONS AND OTHER DIMENSIONS ARE PRELIMINARY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND OPENINGS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND CONFIRM ALL ROUGH OPENINGS AND OTHER DIMENSIONS FOR ACCURACY.	CUSTOMER: AFFORDABLE HOUSING - 2012 E RUSSELL STREET	DRAWN BY: SO	DATE: 9/23/2019	9/25/2019 12:33:30 PM
				YARD: SIOUX FALLS	REVISED:		



RIGHT ELEVATION
1/4"=1'-0"

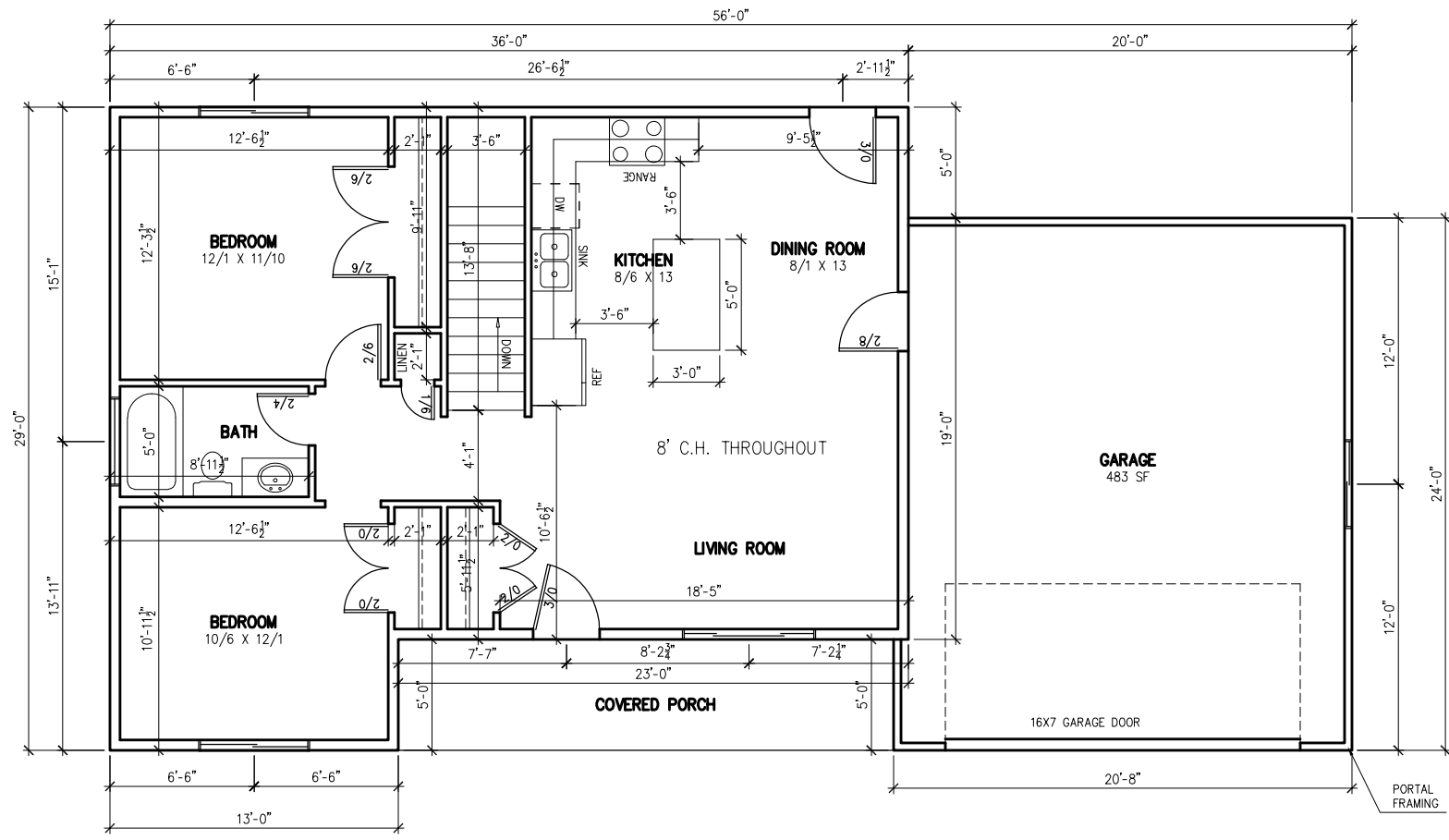


LEFT ELEVATION
1/4"=1'-0"

PRELIMINARY PLAN
NOT FOR CONSTRUCTION

PLAN # SFL19592 PAGE OF	CUSTOMER: AFFORDABLE HOUSING - 2012 E RUSSELL STREET	DRAWN BY: SO	DATE: 9/23/2019	9/25/2019 12:33:41 PM
	YARD: SIOUX FALLS	VERIFICATION: THE LENDER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PERMITS AND APPROVALS. THE LENDER'S REVIEW OF THESE PLANS DOES NOT CONSTITUTE AN ENDORSEMENT OR GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE LENDER'S REVIEW IS LIMITED TO THE INFORMATION PROVIDED AND DOES NOT CONSTITUTE AN ENDORSEMENT OR GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE LENDER'S REVIEW IS LIMITED TO THE INFORMATION PROVIDED AND DOES NOT CONSTITUTE AN ENDORSEMENT OR GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREON.		

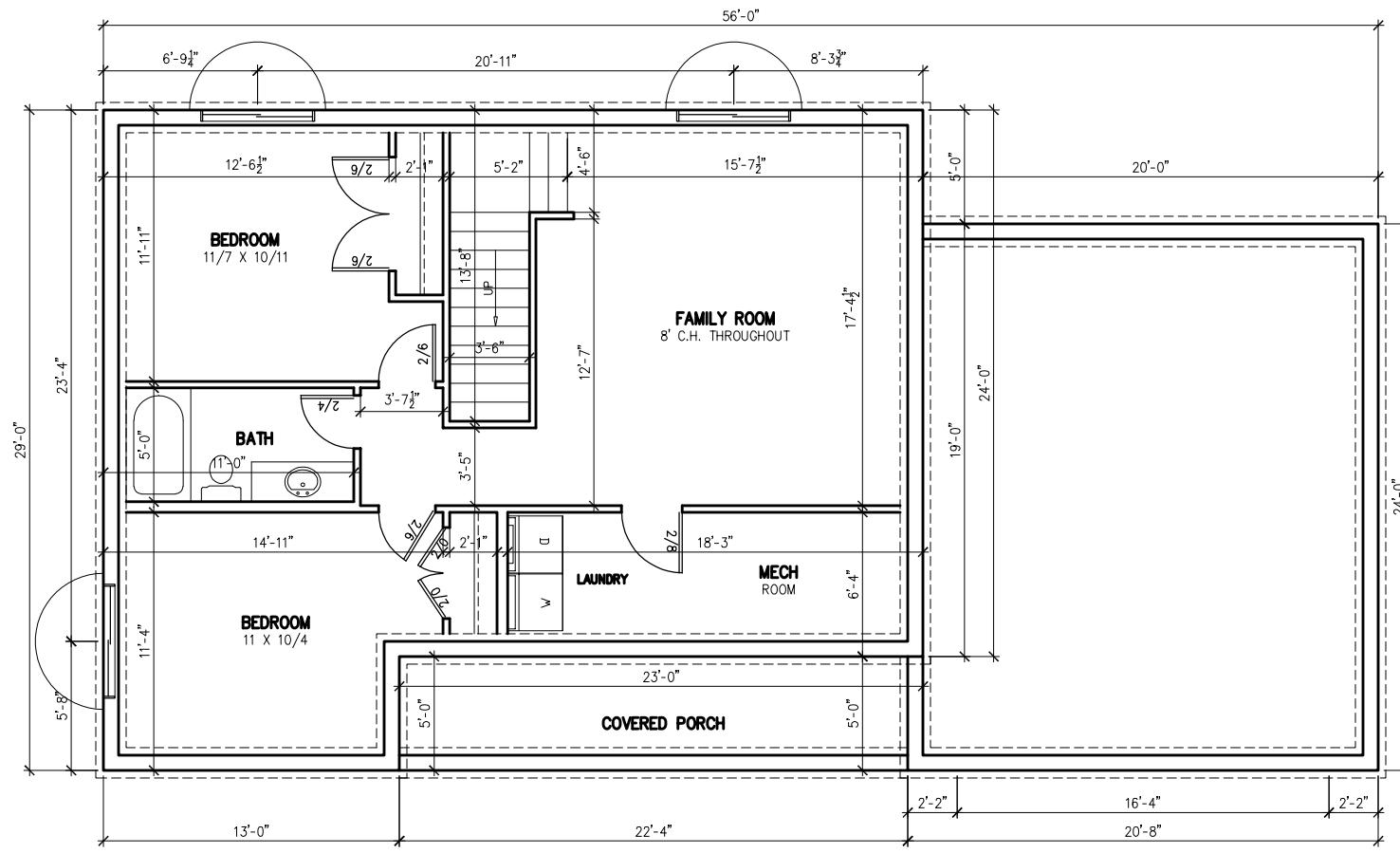
4044 S. GRANGE DR
SIOUX FALLS, SD
(605)336-0860
SCOTT LUMBER
A DIVISION OF LAMPERT YARDS, INCORPORATED



FLOOR PLAN
 1/4"=1'-0"
 929 SF

PRELIMINARY PLAN
 NOT FOR CONSTRUCTION

4044 S. GRANGE DR. SIOUX FALLS, SD (605)336-0860 SCOTT LUMBER A DIVISION OF LAMPERT YARDS, INCORPORATED	PLAN # SFL19592 OF	CUSTOMER: AFFORDABLE HOUSING - 2012 E RUSSELL STREET YARD: SIOUX FALLS	DATE: 9/23/2019	DRAWN BY: SO	9/25/2019 12:33:50 PM
	<small> VERIFY ALL DIMENSIONS. ALTHOUGH EVERY POSSIBLE EFFORT IS MADE TO ACCURATELY REPRESENT THE PROJECT, THERE WILL BE SOME VARIATIONS IN THE FIELD. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND CONFIRM ALL ROUGH OPENINGS AND OTHER DIMENSIONS FOR ACCURACY. THESE PLANS, SPECIFICATIONS AND OTHER DOCUMENTS ARE PRELIMINARY AND SUBJECT TO CHANGE WITHOUT NOTICE. THE COMPANY/INDIVIDUAL REPRESENTING THE LUMBER IS NOT PROVIDING CONTRACT ADMINISTRATION SERVICES OR SUPERVISION SERVICES. THE COMPANY/INDIVIDUAL REPRESENTING THE LUMBER IS NOT PROVIDING CONTRACT ADMINISTRATION SERVICES OR SUPERVISION SERVICES. THE COMPANY/INDIVIDUAL REPRESENTING THE LUMBER IS NOT PROVIDING CONTRACT ADMINISTRATION SERVICES OR SUPERVISION SERVICES. </small>				



FOUNDATION PLAN
 1/4"=1'-0"
 748 SF

PRELIMINARY PLAN
 NOT FOR CONSTRUCTION

4044 S. GRANGE DR.
 SIOUX FALLS, SD
 (605)338-0860

SCOTT LUMBER
 A DIVISION OF LAMPERT YARDS, INCORPORATED

9/25/2019 12:33:57 PM

CUSTOMER: AFFORDABLE HOUSING - 2012 E RUSSELL STREET
 YARD: SIOUX FALLS

DRAWN BY: SO
 REVISION: 9/23/2019

VERIFY ALL DIMENSIONS. ALTHOUGH EVERY POSSIBLE EFFORT IS MADE TO ACCURATELY REPRESENT THE INFORMATION AND DIMENSIONS SHOWN AND OPENINGS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND CONFIRM ALL DIMENSIONS AND OTHER DIMENSIONS FOR ACCURACY.

THESE PLANS ARE FOR INFORMATION ONLY. THEY DO NOT CONSTITUTE A CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS AND DIMENSIONS OF THE SITE AND ADJUSTING THE PLANS THEREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

PLAN # SFL19592
 PAGE 1 OF 1

ROOF
 ASPHALT SHINGLES
 15# ASPHALT FELT
 7/16" OSB ROOF SHEATHING
 ROOF TRUSSES W/ 6" MIN. HEEL
 R-49 CEILING INSULATION

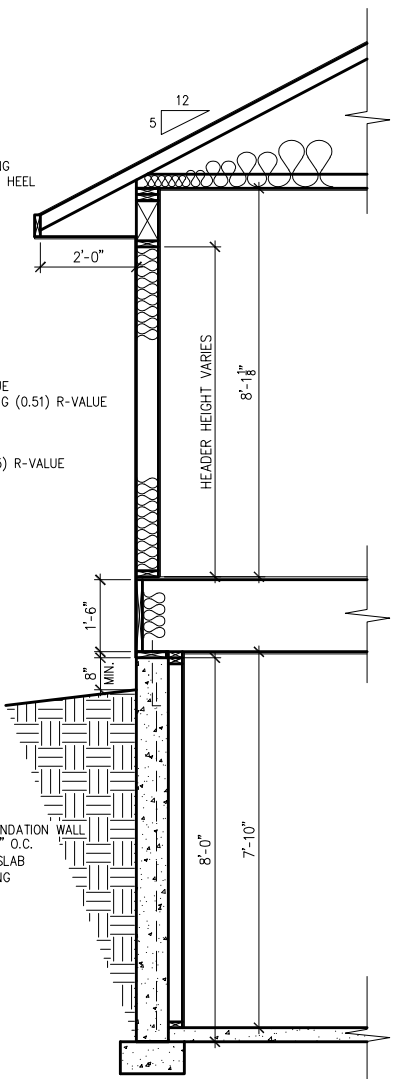
STYLE "D" ROOF EDGE
 1X6 FASCIA AND
 VENTED SOFFIT SYSTEM

ALL WINDOWS
 (.35) U-VALUE

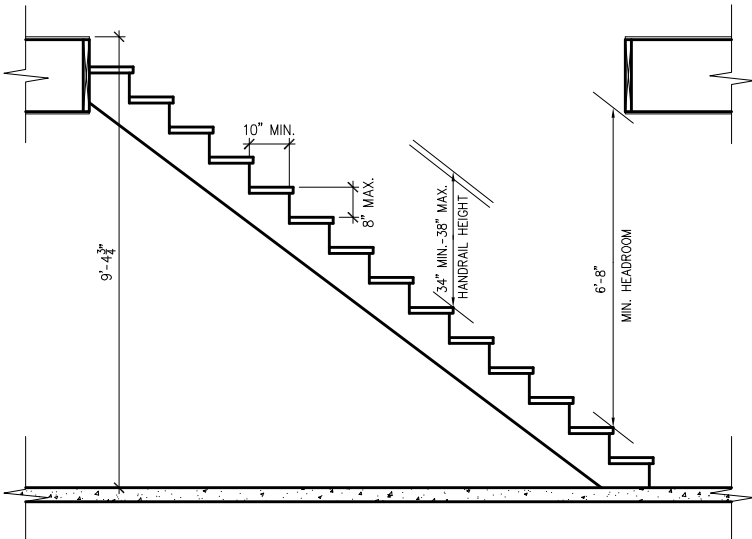
WALL
 SIDING (0.34) R-VALUE
 HOUSEWRAP (0.17) R-VALUE
 7/16" OSB WALL SHEATHING (0.51) R-VALUE
 2X6 STUDS
 R-19 INSULATION
 4 MIL. VAPOR BARRIER
 1/2" GYPSUM BOARD (0.45) R-VALUE
 TOTAL R-VAULE OF 20+

FLOOR
 3/4" FLOOR SHEATHING
 16" FLOOR TRUSS

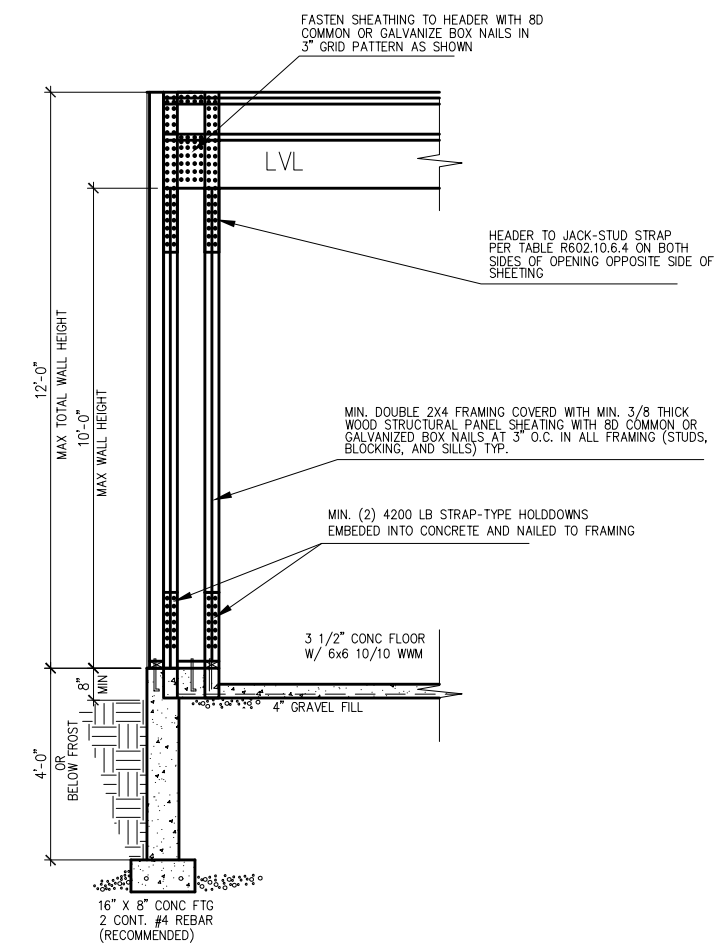
FOUNDATION WALL
 2X8 TREATED SILL PLATE
 1/2" ANCHOR BOLTS
 8" POURED CONCRETE FOUNDATION WALL
 W/ #6 REBAR VERT AT 41" O.C.
 3 1/2" CONCRETE FLOOR SLAB
 16" X 8" CONCRETE FOOTING



TYPICAL WALL SECTION
 1/4"=1'-0"



STAIR SECTION
 1/4"=1'-0"



PORTAL FRAMING WALL SECTION
 1/4"=1'-0"

PRELIMINARY PLAN
 NOT FOR CONSTRUCTION