



FRONT ELEVATION
1/4"=1'-0"



REAR ELEVATION
1/4"=1'-0"

PRELIMINARY PLAN
NOT FOR CONSTRUCTION

803 S. BALINE AVE



SCOTT LUMBER
A DIVISION OF LAMPERT YARDS, INCORPORATED

4044 S. GRANGE DR
SIOUX FALLS, SD
(605)336-0860

ALTHOUGH EVERY POSSIBLE EFFORT IS MADE TO VERIFY ALL DIMENSIONS, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, OPENINGS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND CONFIRM ALL ROUGH OPENINGS AND OTHER DIMENSIONS FOR ACCURACY. THESE PLANS, SPECIFICATIONS AND OTHER DIMENSIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. THE COMPANY/INDIVIDUAL REPRESENTING THE LUMBER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND ACCEPTING CONSTRUCTION RESPONSIBILITY FOR ANY VIOLATIONS NOT LISTED ON THESE PLANS. THESE PLANS ARE NOT TO BE USED FOR ANY OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF THE COMPANY/INDIVIDUAL.

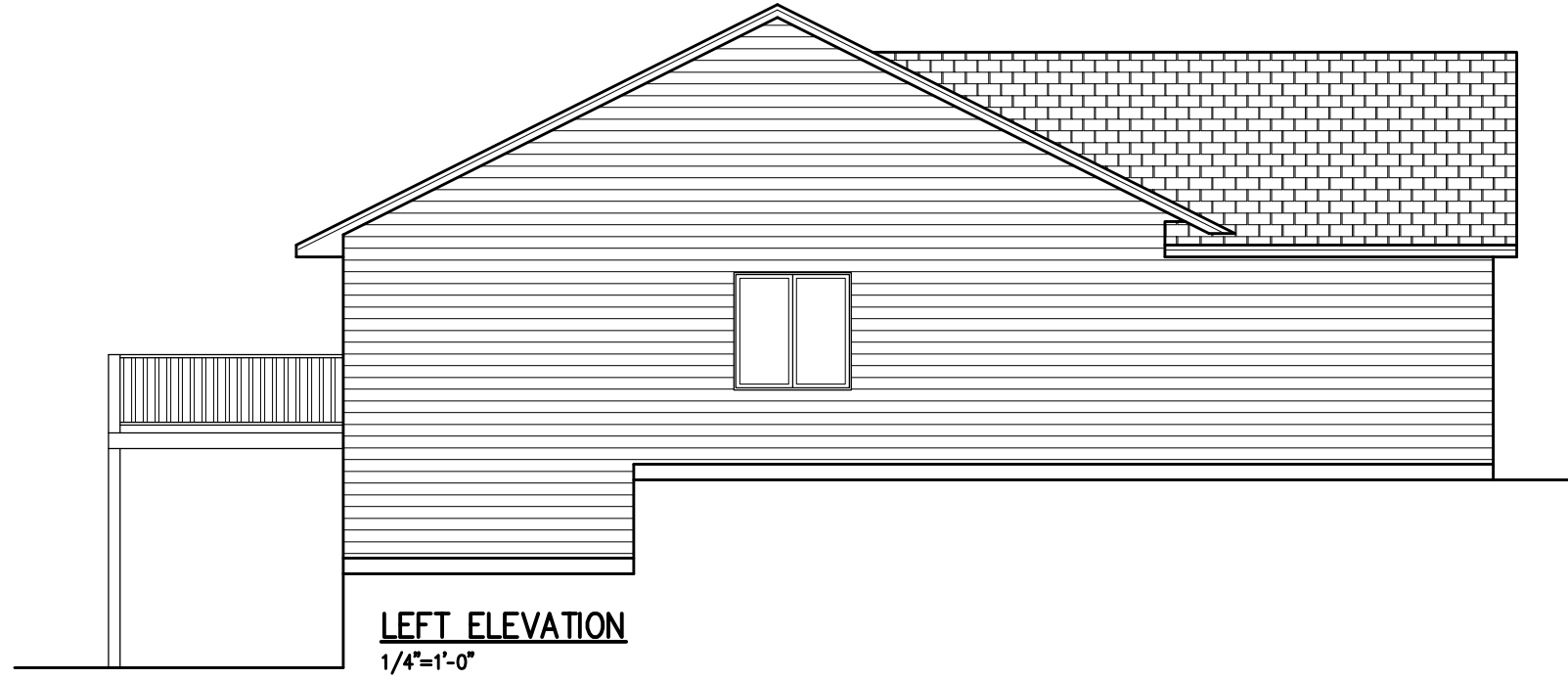
CUSTOMER:
AFFORDABLE HOUSING
YARD:
SIOUX FALLS

DATE:
9/20/2019

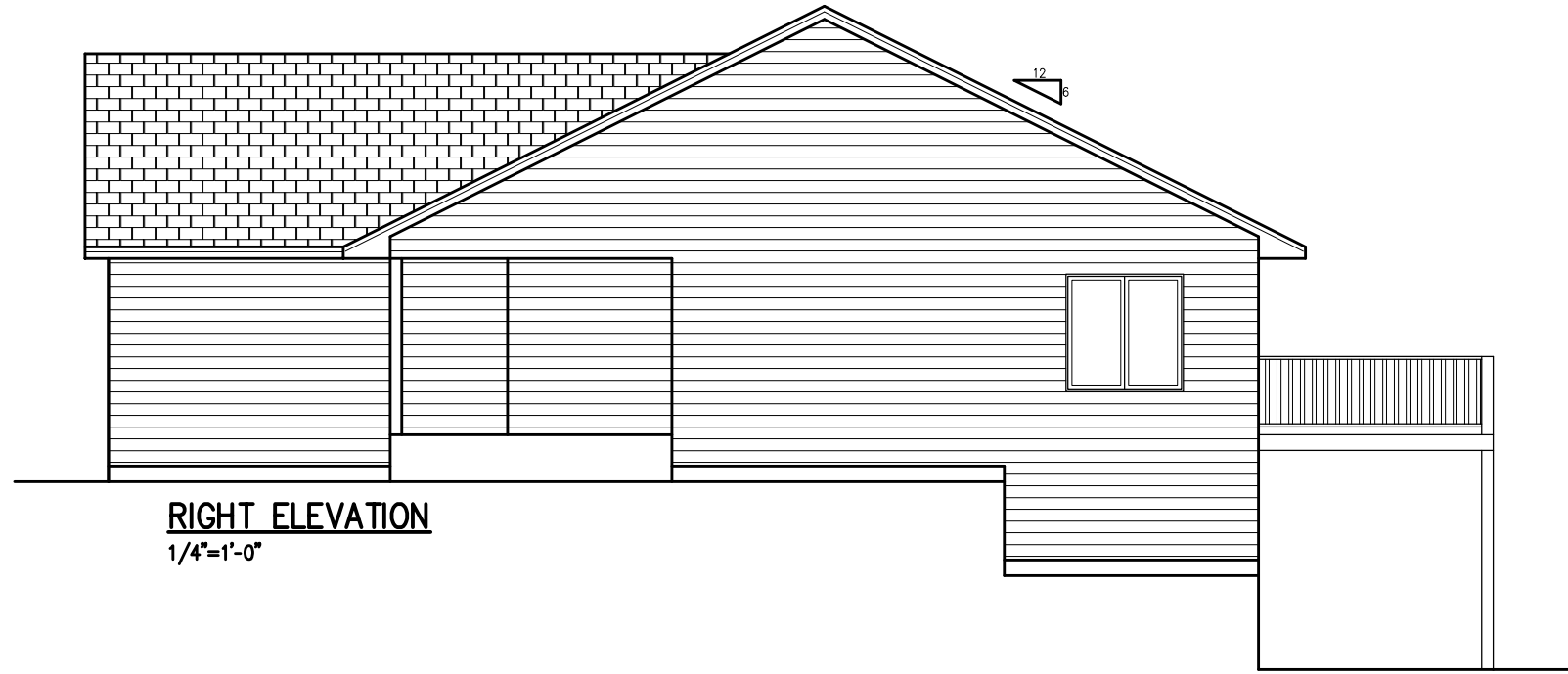
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PLAN #
SFL19215
PAGE
OF



LEFT ELEVATION
1/4"=1'-0"



RIGHT ELEVATION
1/4"=1'-0"

PRELIMINARY PLAN
NOT FOR CONSTRUCTION

803 S. BALINE AVE



SCOTT LUMBER
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PLAN # SFL19215
PAGE 1 OF 1

4044 S. GRANGE DR.
SIOUX FALLS, SD 57105
(605)336-0860

ALTHOUGH EVERY POSSIBLE EFFORT IS MADE TO PREPARE THESE PLANS ACCURATELY, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, VERIFY ALL DIMENSIONS, CHECK FOR CONFLICTS, AND CONFIRM ALL OPENINGS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND CONFIRM ALL ROUGH OPENINGS AND OTHER DIMENSIONS FOR ACCURACY.

THESE PLANS SHOW GENERAL CONCEPTS AND SPECIFIC CONSTRUCTION METHODS FOR MANUFACTURED SPECIFICATIONS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CHECK FOR CONFLICTS, AND CONFIRM ALL OPENINGS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND CONFIRM ALL ROUGH OPENINGS AND OTHER DIMENSIONS FOR ACCURACY.

CUSTOMER:
AFFORDABLE HOUSING

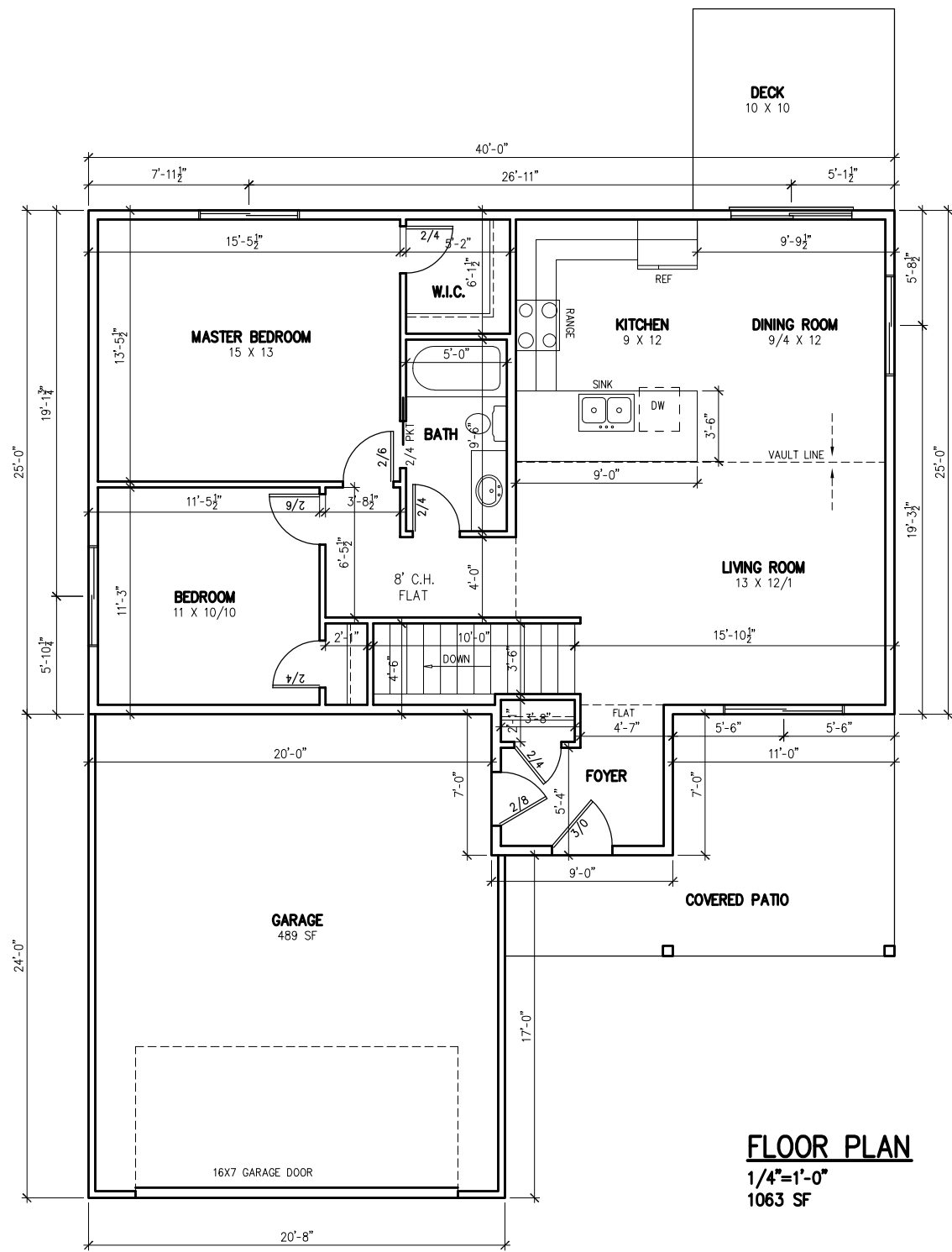
YARD:
SIOUX FALLS

DATE:
9/20/2019

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FLOOR PLAN
 1/4"=1'-0"
 1063 SF

PRELIMINARY PLAN
 NOT FOR CONSTRUCTION

803 S. BALINE AVE



SCOTT LUMBER
 A DIVISION OF LAMPERT YARDS, INCORPORATED

4044 S. GRANGE DR.
 SIOUX FALLS, SD
 (605)336-0860

ALTHOUGH EVERY POSSIBLE EFFORT IS MADE TO PREPARE THIS PLAN ACCURATELY, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, VERIFY ALL DIMENSIONS, CHECK FOR CONFLICTS, AND CONFIRM ALL ROUGH OPENINGS AND OTHER DIMENSIONS FOR ACCURACY. THESE PLANS ARE PRELIMINARY AND SUBJECT TO CHANGE WITHOUT NOTICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE.

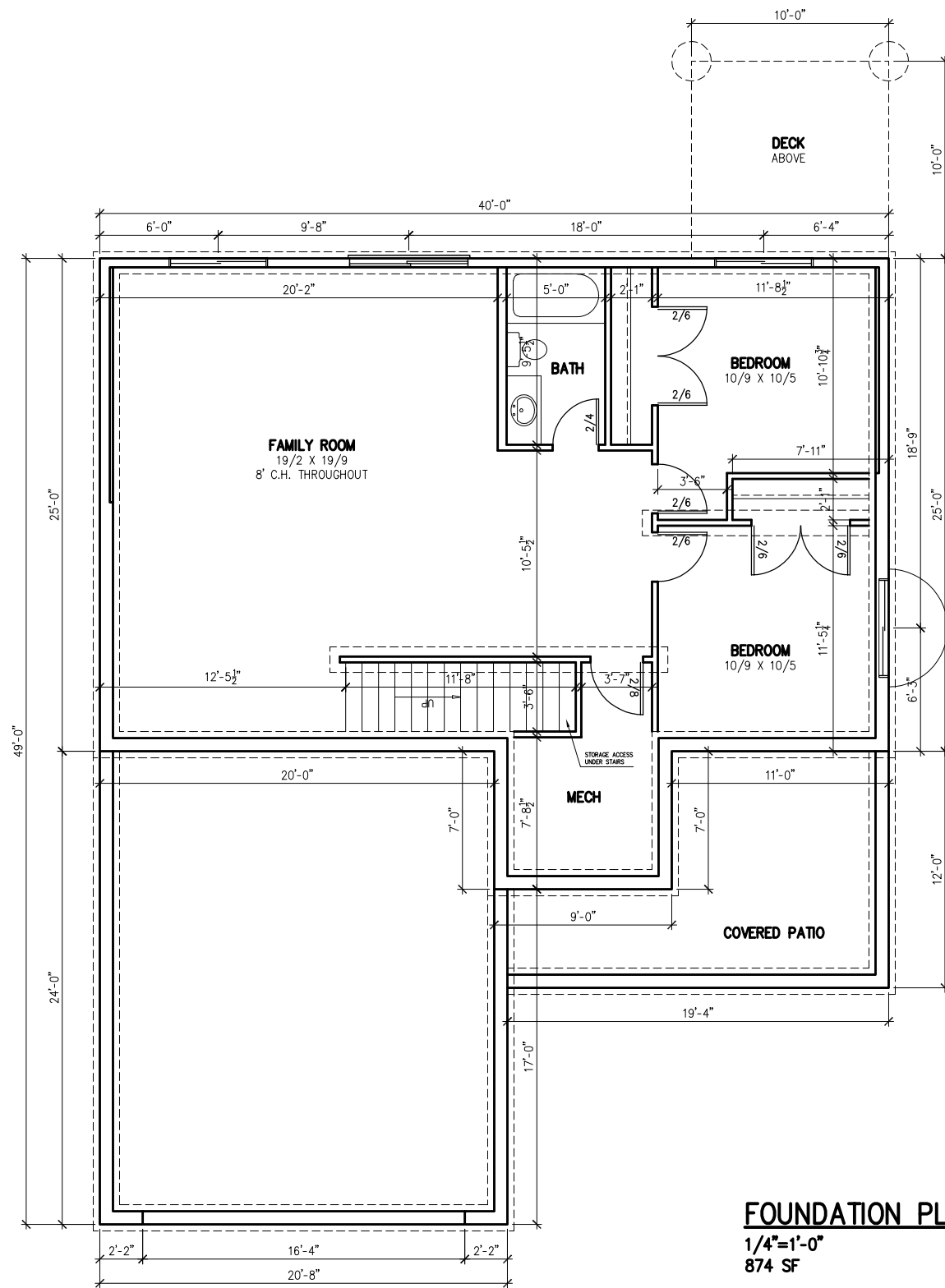
CUSTOMER: AFFORDABLE HOUSING
 YARD: SIOUX FALLS

DATE: 9/20/2019

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PLAN # SF119215
 PAGE 1 OF 1

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FOUNDATION PLAN
 1/4"=1'-0"
 874 SF

PRELIMINARY PLAN
 NOT FOR CONSTRUCTION

803 S. BALINE AVE

SCOTT LUMBER
 A DIVISION OF LAMPERT YARDS, INCORPORATED



PLAN # SFL19215
 PAGE 1 OF 1

4044 S. GRANGE DR.
 SIOUX FALLS, SD 57105
 (605)336-0860

CUSTOMER:
 AFFORDABLE HOUSING
 YARD:
 SIOUX FALLS

DATE:
 9/20/2019

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ROOF
 ASPHALT SHINGLES
 15# ASPHALT FELT
 7/16" OSB ROOF SHEATHING
 ROOF TRUSSES W/ 12" ENERGY HEEL
 R-49 CEILING INSULATION

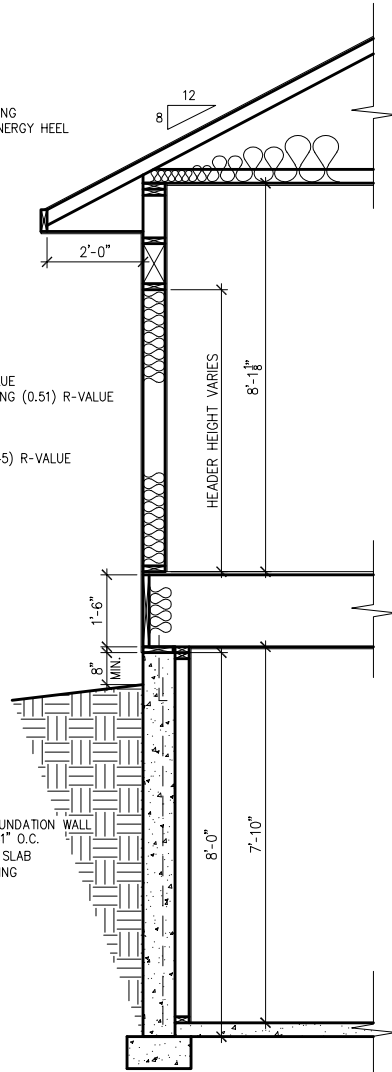
STYLE "D" ROOF EDGE
 1X6 FASCIA AND
 VENTED SOFFIT SYSTEM

ALL WINDOWS
 (.35) U-VALUE

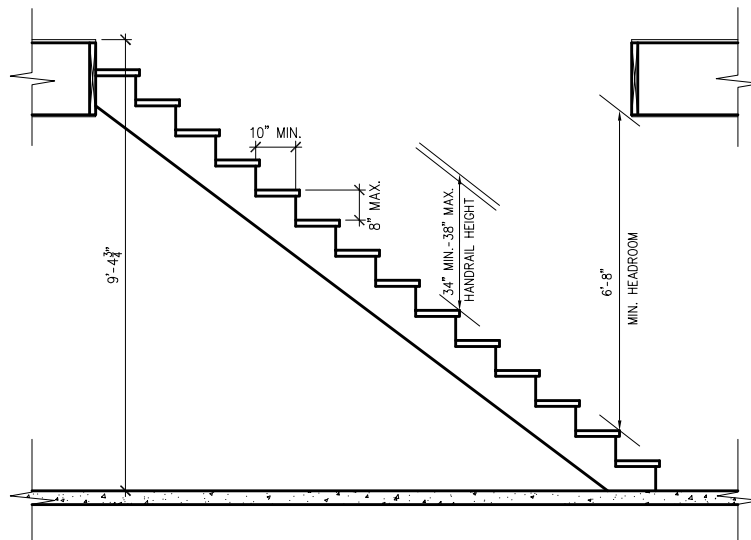
WALL
 SIDING (0.34) R-VALUE
 HOUSEWRAP (0.17) R-VALUE
 7/16" OSB WALL SHEATHING (0.51) R-VALUE
 2X6 STUDS
 R-19 INSULATION
 4 MIL. VAPOR BARRIER
 1/2" GYPSUM BOARD (0.45) R-VALUE
 TOTAL R-VAULE OF 20+

FLOOR
 3/4" FLOOR SHEATHING
 18" FLOOR TRUSS

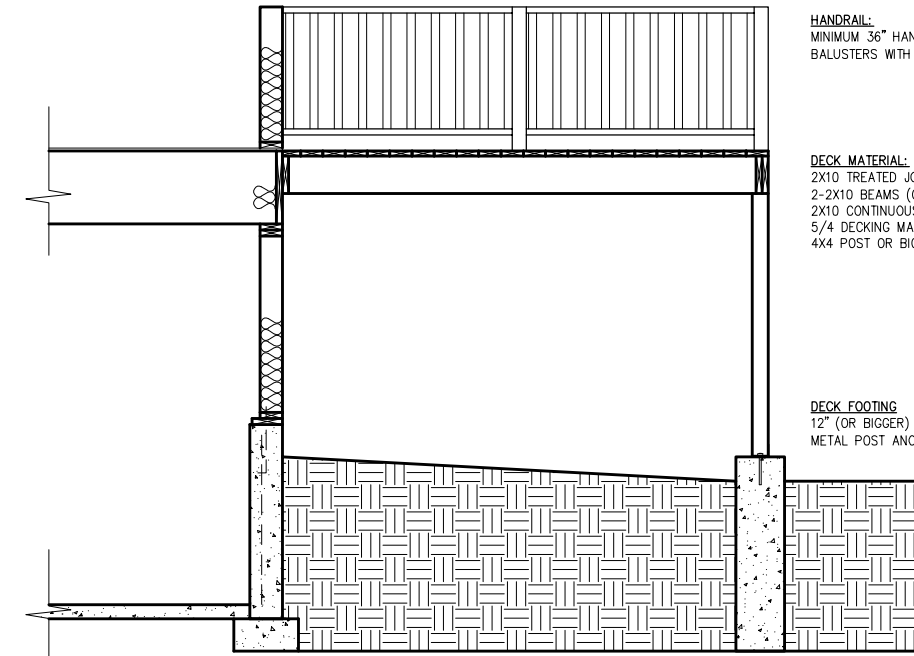
FOUNDATION WALL
 2X8 TREATED SILL PLATE
 1/2" ANCHOR BOLTS
 8" POURED CONCRETE FOUNDATION WALL
 W/ #6 REBAR VERT AT 41" O.C.
 3 1/2" CONCRETE FLOOR SLAB
 16" X 8" CONCRETE FOOTING



TYPICAL WALL SECTION
 1/4"=1'-0"



STAIR SECTION
 1/4"=1'-0"



DECK SECTION
 1/4"=1'-0"

HANDRAIL:
 MINIMUM 36" HANDRAIL
 BALUSTERS WITH 4" OR LESS BETWEEN

DECK MATERIAL:
 2X10 TREATED JOISTS @ 16" O.C.
 2-2X10 BEAMS (OR BIGGER) ATTACH TO POSTS
 2X10 CONTINUOUS LEDGER (OR BIGGER) ATTACH TO WALL 16" O.C.
 5/4 DECKING MATERIAL
 4X4 POST OR BIGGER

DECK FOOTING
 12" (OR BIGGER) PIER FOOTING @ 42" BELOW GRADE
 METAL POST ANCHOR/BASE

803 S. BALINE AVE

SCOTT
 LUMBER



404 S. GRANGE DR
 SIOUX FALLS, SD
 (605) 536-0860

A DIVISION OF LAMPERT YARDS, INCORPORATED

CUSTOMER:
 AFFORDABLE HOUSING

YARD:
 SIOUX FALLS

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DATE:
 9/20/2019

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