



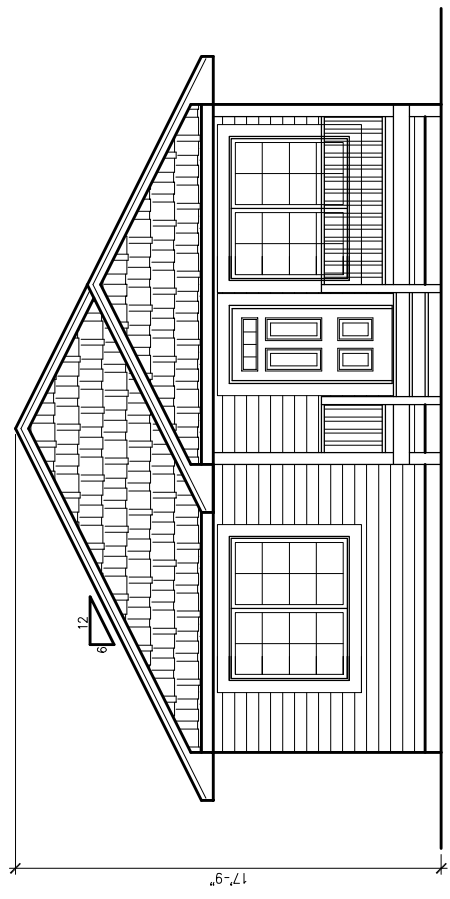
SCOTT LUMBER
 4040 S. GRANGE DR
 SIOUX FALLS, SD 57105
 (605) 336-0880

PLAN # SFL161056
 PAGE 1 OF 6

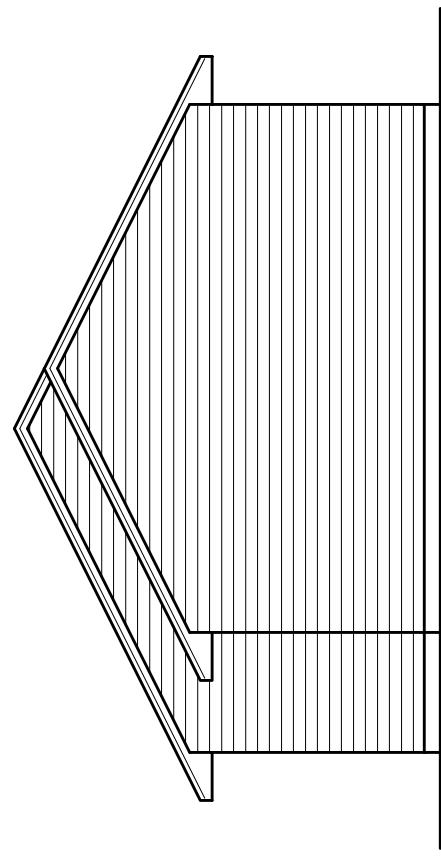
VERIFY ALL DIMENSIONS
 TO INSURE THE ACCURACY OF DIMENSIONS AND
 RUGH OPENINGS AND OTHER DIMENSIONS FOR ACCURACY.
 ALTHOUGH EVERY POSSIBLE EFFORT IS MADE
 TO INSURE THE ACCURACY OF DIMENSIONS AND
 RUGH OPENINGS AND OTHER DIMENSIONS FOR ACCURACY.
 THESE PLANS DETAIL CONNECTIONS AND SPECIFIC STRUCTURAL MEMBERS FOR NON-STANDARD APPLICATIONS. THE COMPANY ACCEPTS
 NO LIABILITY FOR LOSS OR DAMAGE TO PROPERTY OR PERSONS ARISING FROM THE USE OF THESE PLANS UNLESS REPRESENTED ABOUT ANY APPLICATION FOR WHICH YOU ARE USING
 THEM ON BEHALF OF THE COMPANY. MEMBERS FOR SIOUX FALLS, SD

YARD: SIOUX FALLS
 CUSTOMER: AFFORDABLE HOUSING (503 S. SUMMIT)
 DATE: 12/13/2016
 REVISED: BP
 DRAWN BY:

12/14/2016 2:13:10 PM



FRONT ELEVATION
 1/4" = 1'-0"



REAR ELEVATION
 1/4" = 1'-0"



444 S. GRAND ST.
 SIOUX FALLS, SD 57105
 (605) 556-0880
 A DIVISION OF LAMPERT YARDS, INCORPORATED

VERIFY ALL DIMENSIONS
 TO INSURE THE ACCURACY OF DIMENSIONS AND
 TO INSURE THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND CONFIRM ALL
 ROUGH OPENINGS AND OTHER DIMENSIONS FOR ACCURACY.
 THESE PLANS DETAIL CONNECTIONS AND SPECIFIC STRUCTURAL MEMBERS FOR NON-STANDARD APPLICATIONS. THE COMPANY/ARCHITECT
 MAKES NO WARRANTY FOR THESE PLANS AND ACCEPTS NO LIABILITY FOR STRUCTURAL DEFECTS OR OTHER DEFECTS.
 PLEASE ASK YOUR LUMBER SUPPLIER FOR MORE INFORMATION ABOUT ANY APPLICATION FOR WHICH YOU ARE ORDERING.

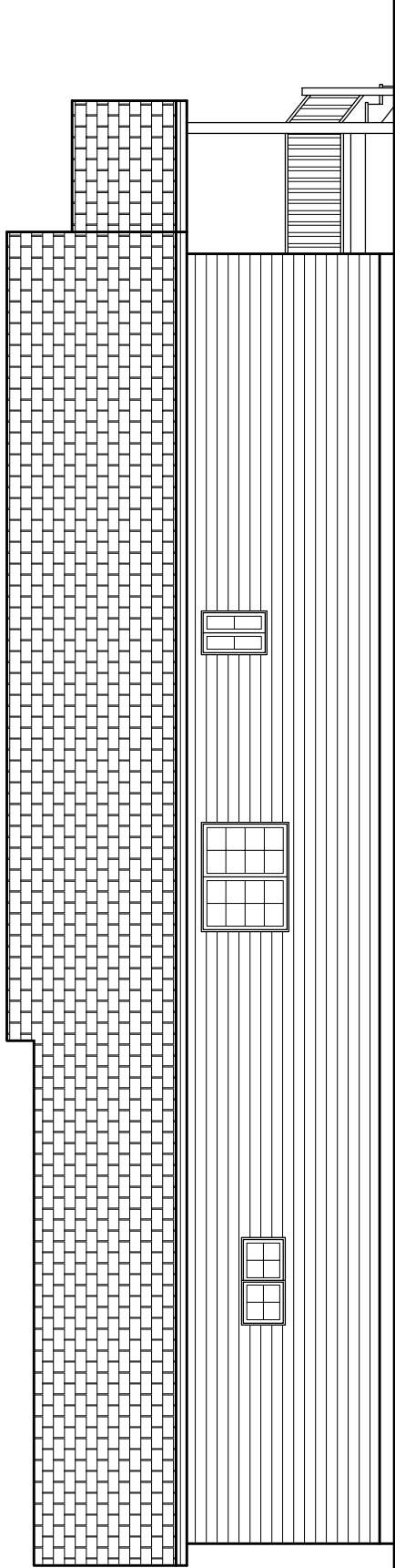
YARD: SIOUX FALLS

DATE: 12/13/2016

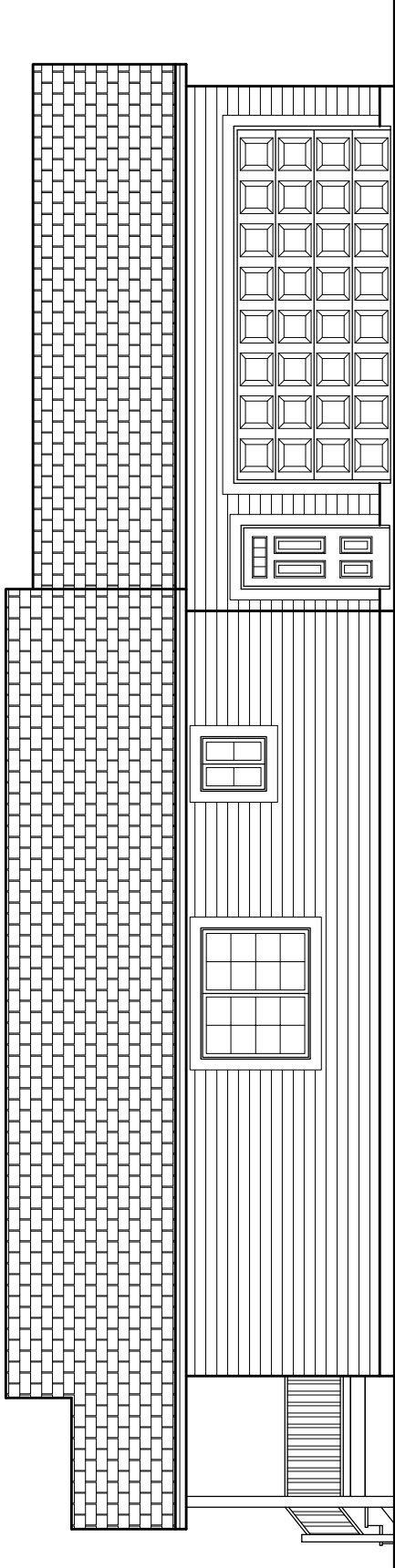
REVISION: BP
 DRAWN BY: BP

CUSTOMER: AFFORDABLE HOUSING (503 S. SUMMIT)

12/14/2016 2:13:24 PM



LEFT ELEVATION
 1/4"=1'-0"



RIGHT ELEVATION
 1/4"=1'-0"



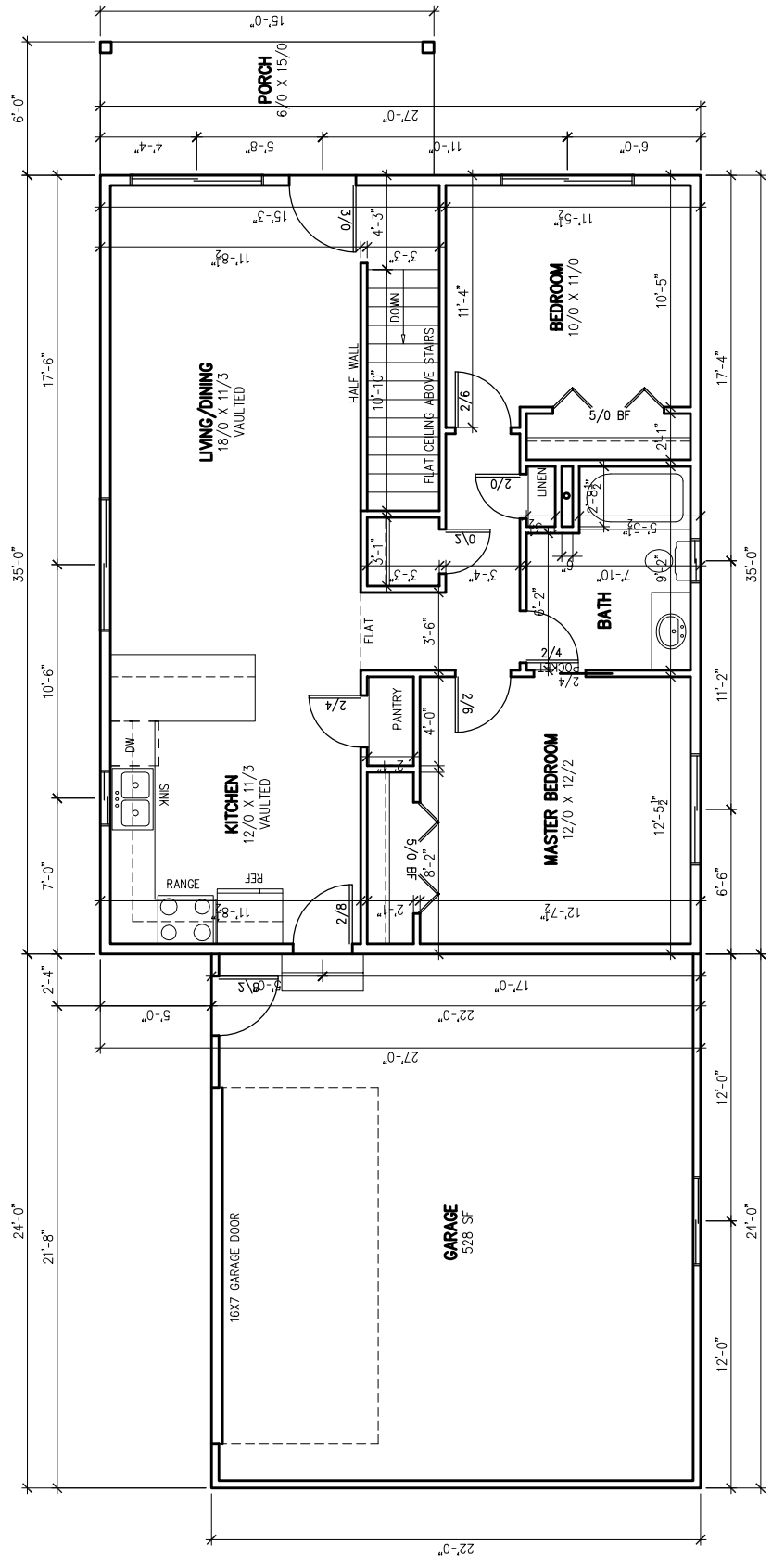
SCOTT LUMBER
444 S. GRANGE DR
SIOUX FALLS, SD 57105
(605) 336-0888

VERIFY ALL DIMENSIONS
ALTHOUGH EVERY POSSIBLE EFFORT IS MADE
TO INSURE THE ACCURACY OF DIMENSIONS AND
OPENINGS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND CONFIRM ALL
ROUGH OPENINGS AND OTHER DIMENSIONS FOR ACCURACY.

YARD: SIOUX FALLS
CUSTOMER: AFFORDABLE HOUSING (503 S. SUMMIT)
DRAWN BY: BP
REVISIONS: NONE

DATE: 12/13/2016

12/14/2016 2:13:34 PM



FLOOR PLAN
1/4"=1'-0"
945 SF



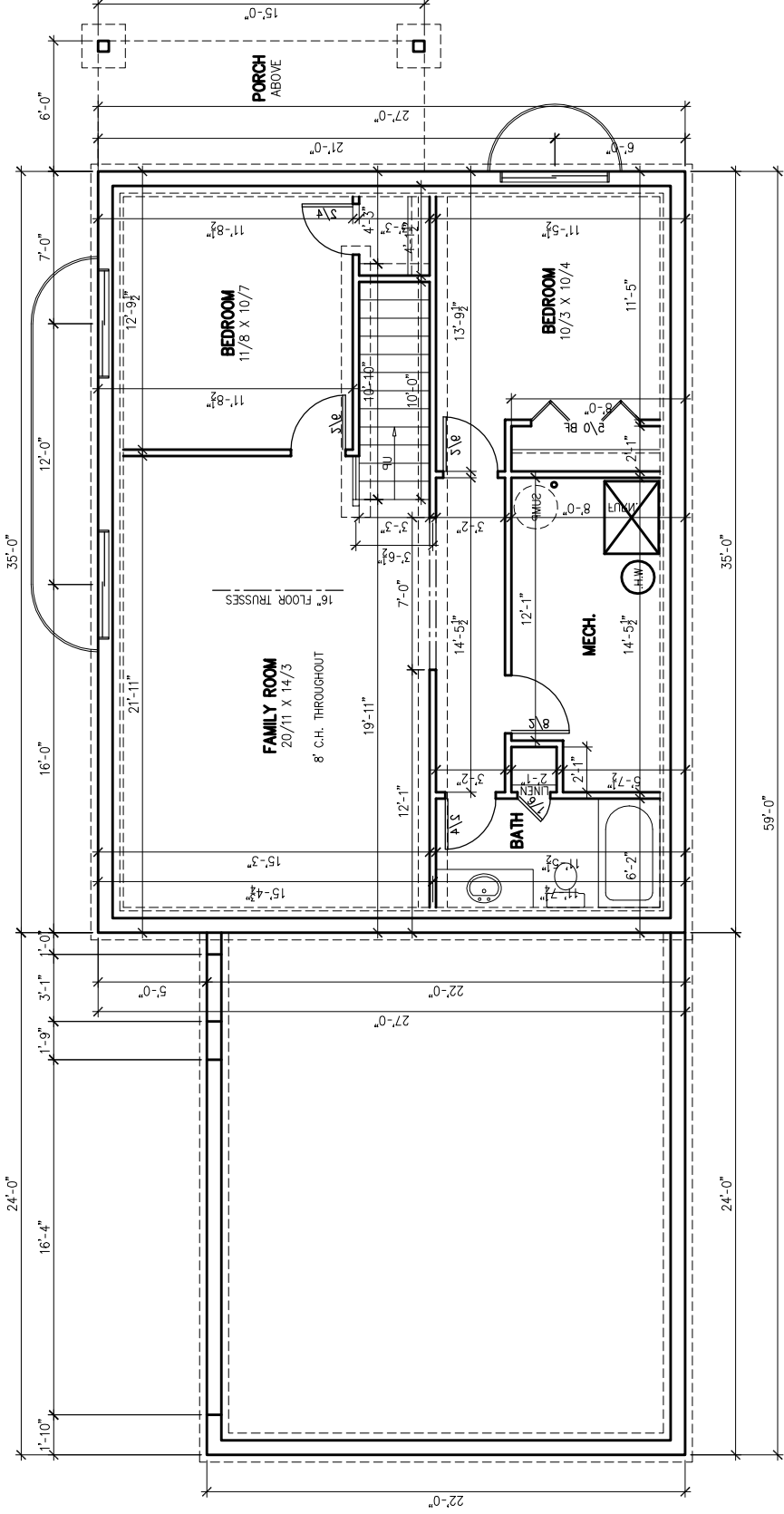
4448 S. GRANDE DR.
SIOUX FALLS, SD 57105
(605)356-0888
SCOTT LUMBER
A DIVISION OF LAMPERT YARDS, INCORPORATED

VERIFY ALL DIMENSIONS
ALTHOUGH EVERY POSSIBLE EFFORT IS MADE
TO INSURE THE ACCURACY OF DIMENSIONS AND
ROUGH OPENINGS AND OTHER DIMENSIONS FOR ACCURACY.
PERFORM THE LABOR IN ACCORDANCE WITH THE SPECIFICATIONS AND
STANDARD PRACTICES OF THE COMPANY. MEMBERS
OF THE COMPANY SHALL BE RESPONSIBLE FOR CHECKING AND CONFIRM ALL
DIMENSIONS. PLEASE ASK YOUR LAMPERT REPRESENTATIVE ABOUT ANY APPLICATIONS FOR WHICH YOU ARE INTERESTED.

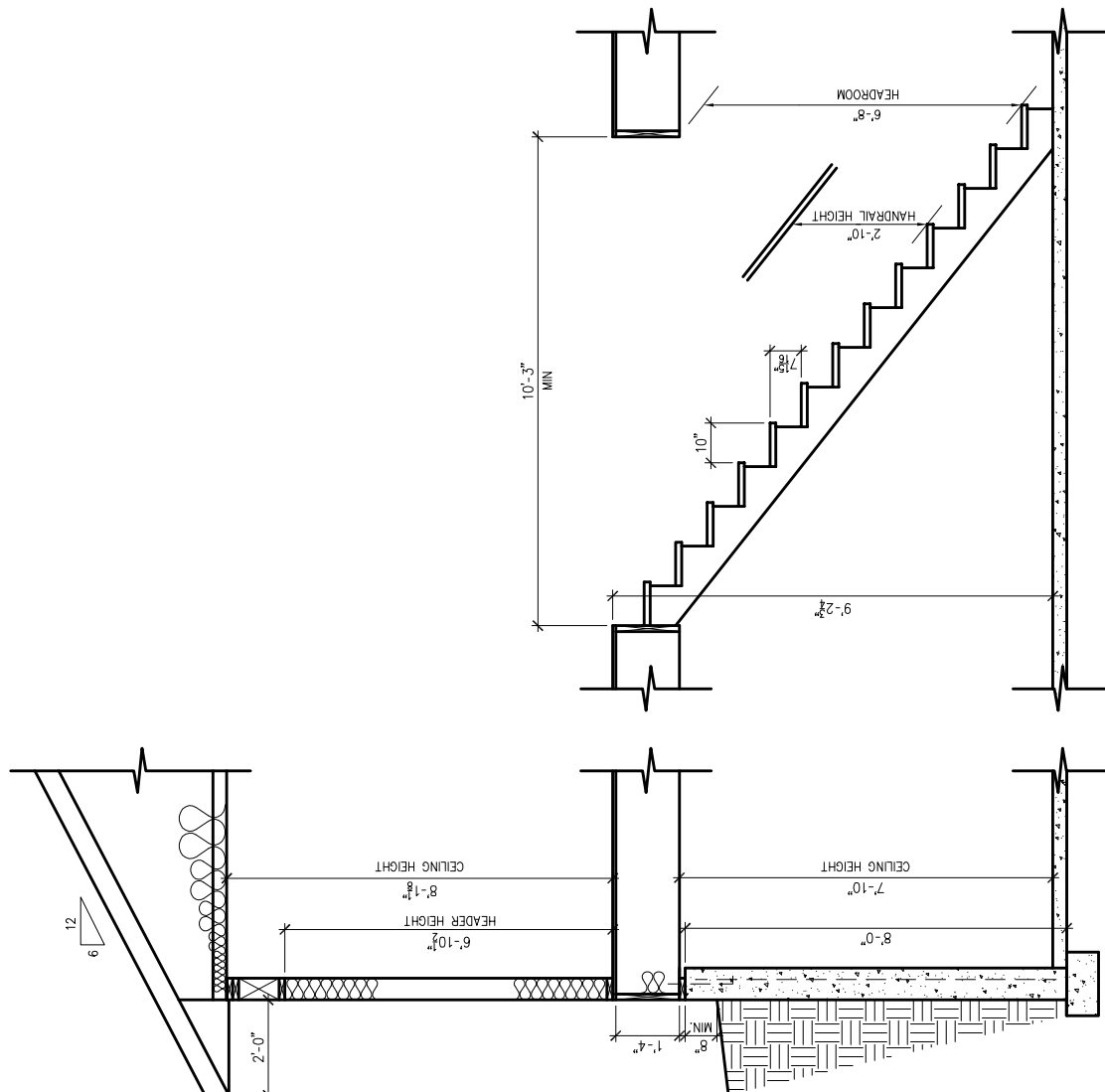
CUSTOMER: AFFORDABLE HOUSING (503 S. SUMMIT)
YARD: SIOUX FALLS

DATE: 12/13/2016
REVISION: BP
DRAWN BY: BF

12/14/2016 2:13:45 PM



FOUNDATION PLAN
1/4"=1'-0"
731 SF



STAIR SECTION
1/2"=1'-0"

WALL SECTION
1/2"=1'-0"

ROOF
 ASPHALT SHINGLES
 15# ASPHALT FELT
 7/16" OSB ROOF SHEATHING
 ROOF TRUSSES W/12" ENERGY HEEL
 R-60 CEILING INSULATION
 WEATHER GUARD 24" FROM INSIDE HOUSE PLATE
 AIR CHUTE IN EVERY BAY

STYLE "D" ROOF EDGE
 1X6 FASCIA
 ALUMINUM FASCIA AND
 VENTED SOFFIT SYSTEM

ALL WINDOWS
 28 U VALUE
 20 SHGC

WALL
 GYPSUM (0.14) R-VALUE
 HOUSEWRAP (0.17) R-VALUE
 7/16" OSB WALL SHEATHING (0.51) R-VALUE
 POLY CALKED TO FRAMING
 2X6 STUDS @ 24" O.C.
 R-21 INSULATION
 4 MIL VAPOR BARRIER
 1/2" GYPSUM BOARD (0.45) R-VALUE
 TOTAL R-VALUE OF 20 +
 EXTERIOR WALL PLUGS AND SWITCHES
 SEALED TO SHEETROCK

FLOOR
 16" FLOOR TRUSS
 3/4" FLOOR SHEATHING

2X6 TREATED SILL PLATE
 1/2" ANCHOR BOLTS
 R-19 INSULATION IN BASEMENT WALLS OR
 R-15 WITH 2" INSULATED FOAM

FOUNDATION WALL
 8" POURED CONCRETE FOUNDATION WALL
 W/ #6 REBAR VERT 41" OC
 16" X 8" CONCRETE FOOTING
 3 1/2" CONC FLOOR SLAB
 6MM POLY UNDER SLAB
 W/ RADON DRAIN TILE SEALED WELL

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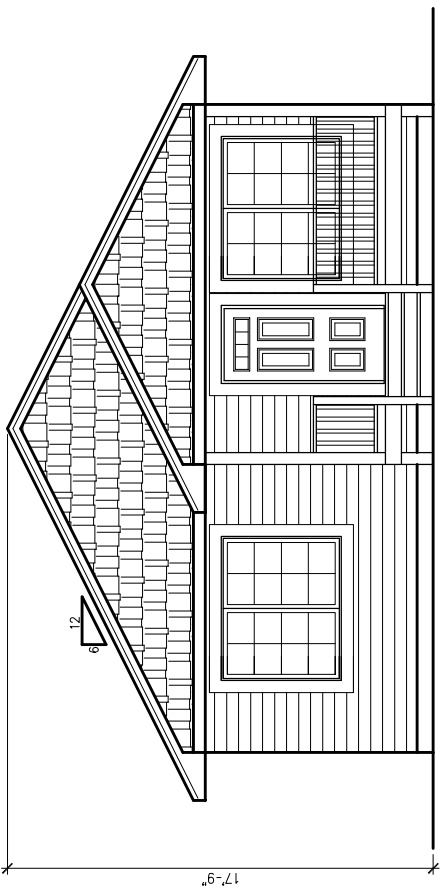
4448 S. GRANGE DR
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PLAN # SFL161056
 PAGE 1 OF 5

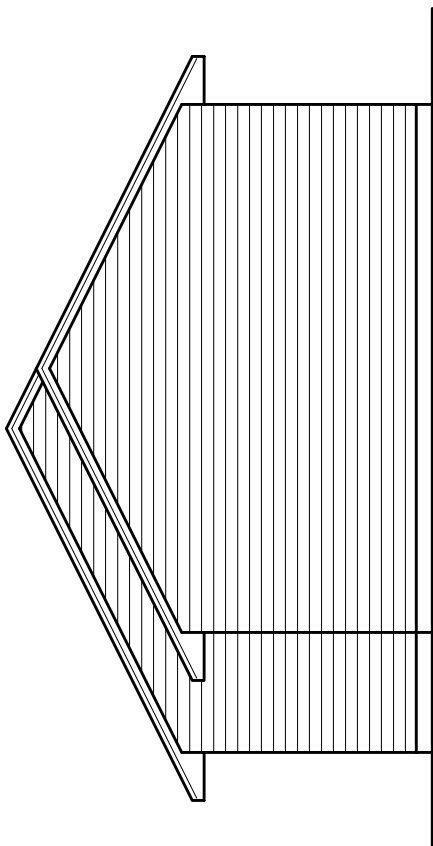
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 NO LIABILITY FOR LOSS OF LIFE OR PROPERTY RESULTING FROM THE USE OF THESE PLANS UNLESS REPRESENTATIVE ABOUT ANY APPLICATION FOR WHICH YOU ARE USING
 THEM ON BEHALF OF THE USER. PLEASE ASK YOUR LAMPERT REPRESENTATIVE FOR MORE INFORMATION.

YARD: SIOUX FALLS
 CUSTOMER: AFFORDABLE HOUSING (503 S. SUMMIT)
 DRAWN BY: BP
 REVISIONS:
 DATE: 12/13/2016

12/15/2016 2:57:29 PM



FRONT ELEVATION
 1/4" = 1'-0"



REAR ELEVATION
 1/4" = 1'-0"



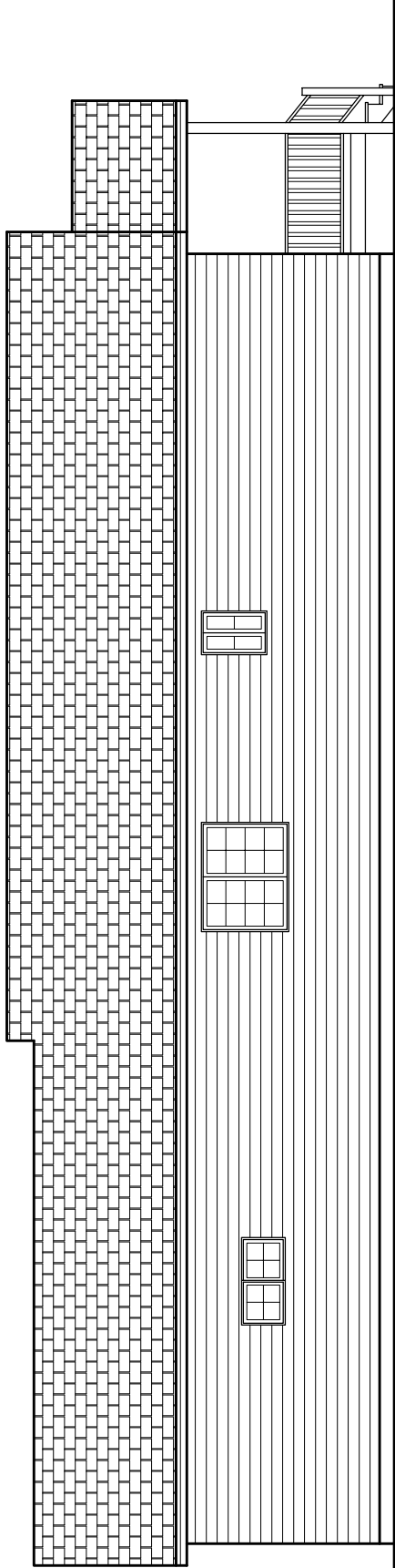
SCOTT LUMBER
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 THESE PLANS DETAIL CONNECTIONS AND SPECIFIC STRUCTURAL MEMBERS FOR NON-STANDARD APPLICATIONS. THE COMPANY, HOWEVER, MAKES NO WARRANTY FOR THESE PLANS AND ACCEPTS NO LIABILITY FOR STRUCTURAL FAILURE OR DAMAGE TO PERSONS OR PROPERTY. PLEASE ASK YOUR LUMBER SUPPLIER FOR REPRESENTATIVE ABOUT ANY APPLICATION FOR WHICH YOU ARE ORDERING.

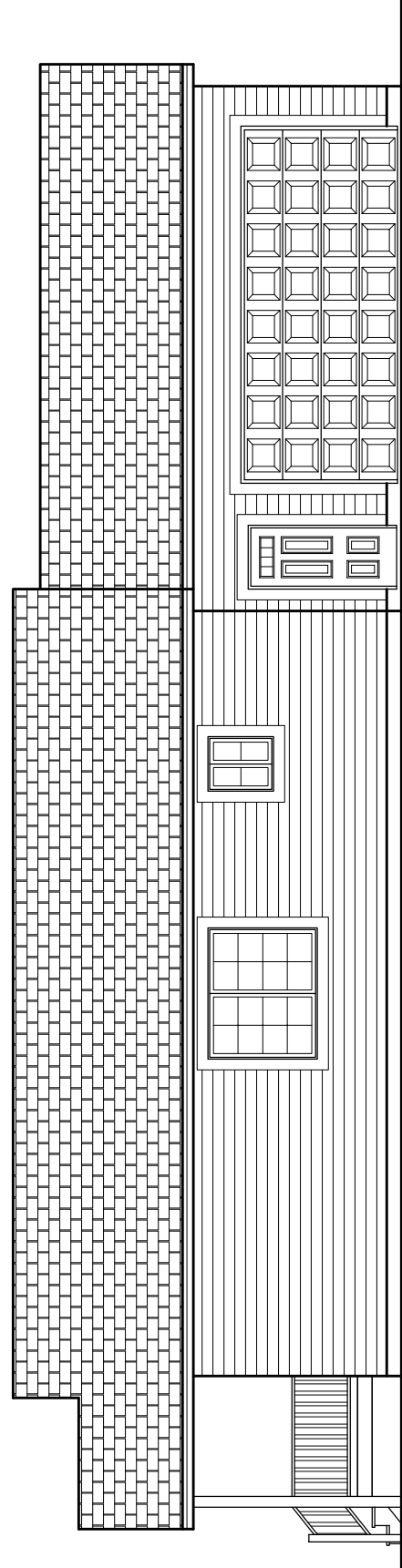
YARD: SIOUX FALLS
 CUSTOMER: AFFORDABLE HOUSING (503 S. SUMMIT)

DATE: 12/13/2016
 DRAWN BY: BP
 REVISED:

12/15/2016 2:57:44 PM



LEFT ELEVATION
 1/4"=1'-0"



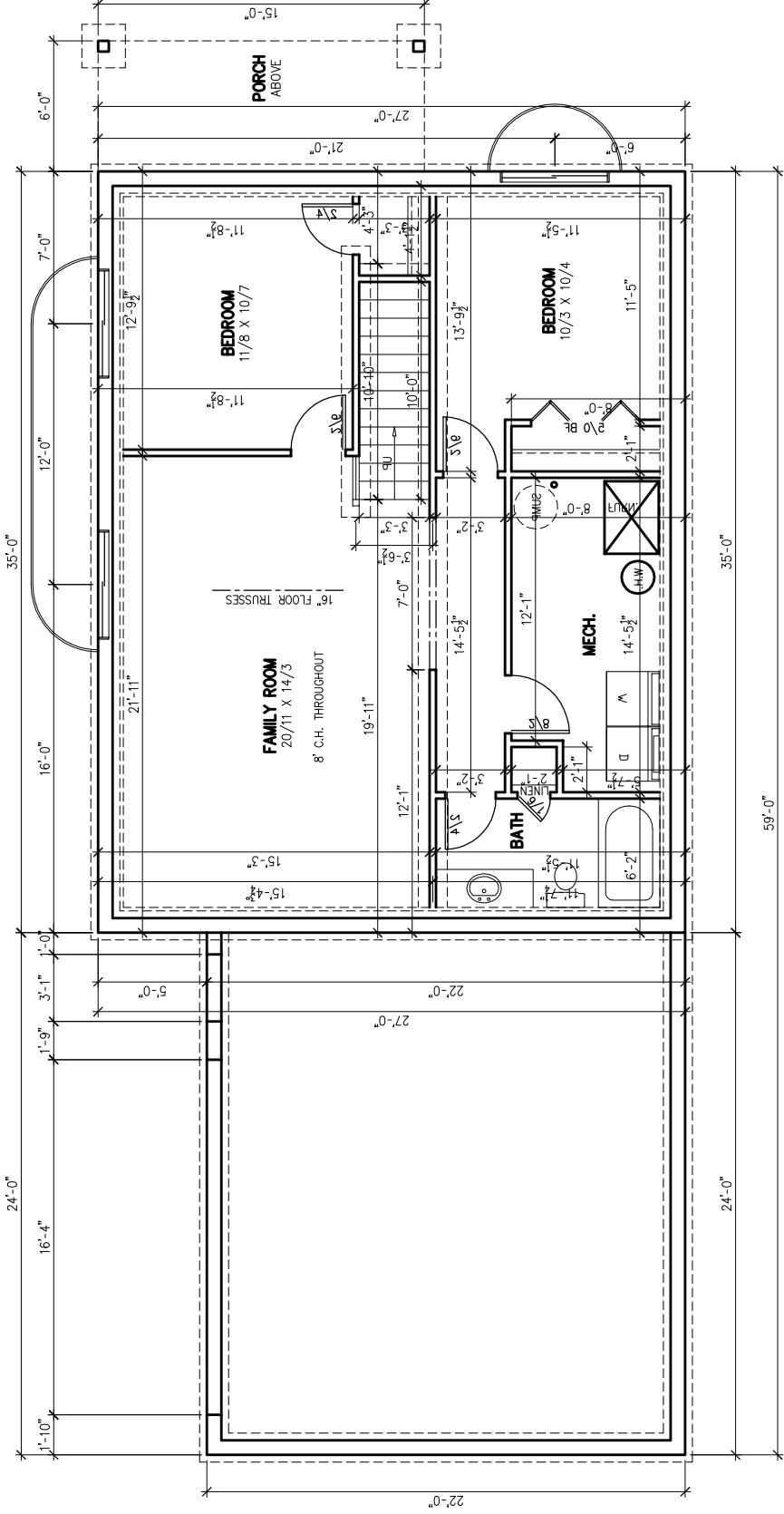
RIGHT ELEVATION
 1/4"=1'-0"



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TAKES NO RESPONSIBILITY FOR LOADS, WINDS, AND ACCEPTED CONNECTIONS FOR STANDARD APPLICATIONS. THE COMPANY, HOWEVER,
RECOMMENDS THE LAMBERT FASTENING PRODUCTS FOR SUCH APPLICATIONS. PLEASE ASK YOUR LAMBERT REPRESENTATIVE ABOUT ANY APPLICATION FOR WHICH YOU ARE INTERESTED.
DRAWN BY: BF
REVISIONS: NONE
DATE: 12/13/2016
YARD: SIOUX FALLS

CUSTOMER: AFFORDABLE HOUSING (503 S. SUMMIT)
DRAWN BY: BF
REVISIONS: NONE
DATE: 12/13/2016
YARD: SIOUX FALLS



FOUNDATION PLAN
1/4"=1'-0"
731 SF

12/15/2016 2:58:04 PM

