



SCOTT LUMBER
A DIVISION OF LAMBERT YARDS, INCORPORATED

4040 S. GRANDE DR.
SIOUX FALLS, SD 57105
(605) 336-0860

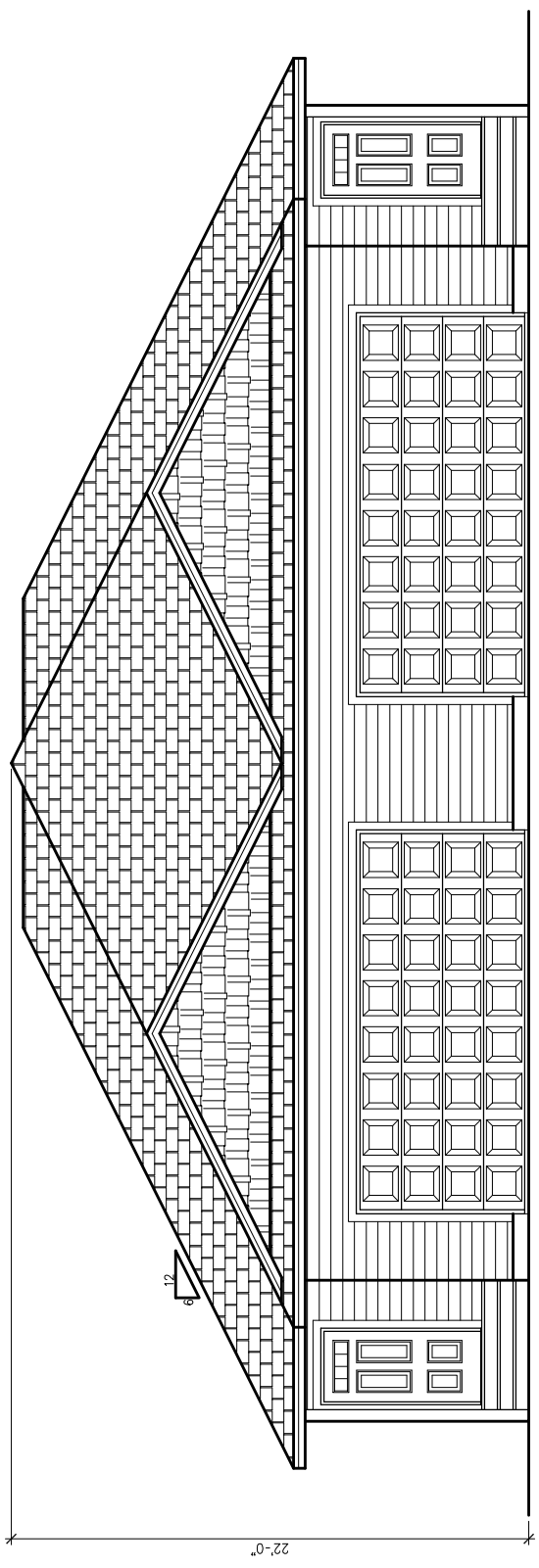
VERIFY ALL DIMENSIONS
ALTHOUGH EVERY POSSIBLE EFFORT IS MADE
TO INSURE THE ACCURACY OF DIMENSIONS AND
OPENINGS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND CONFIRM ALL
ROUGH OPENINGS AND OTHER DIMENSIONS FOR ACCURACY.

YARD: SIOUX FALLS

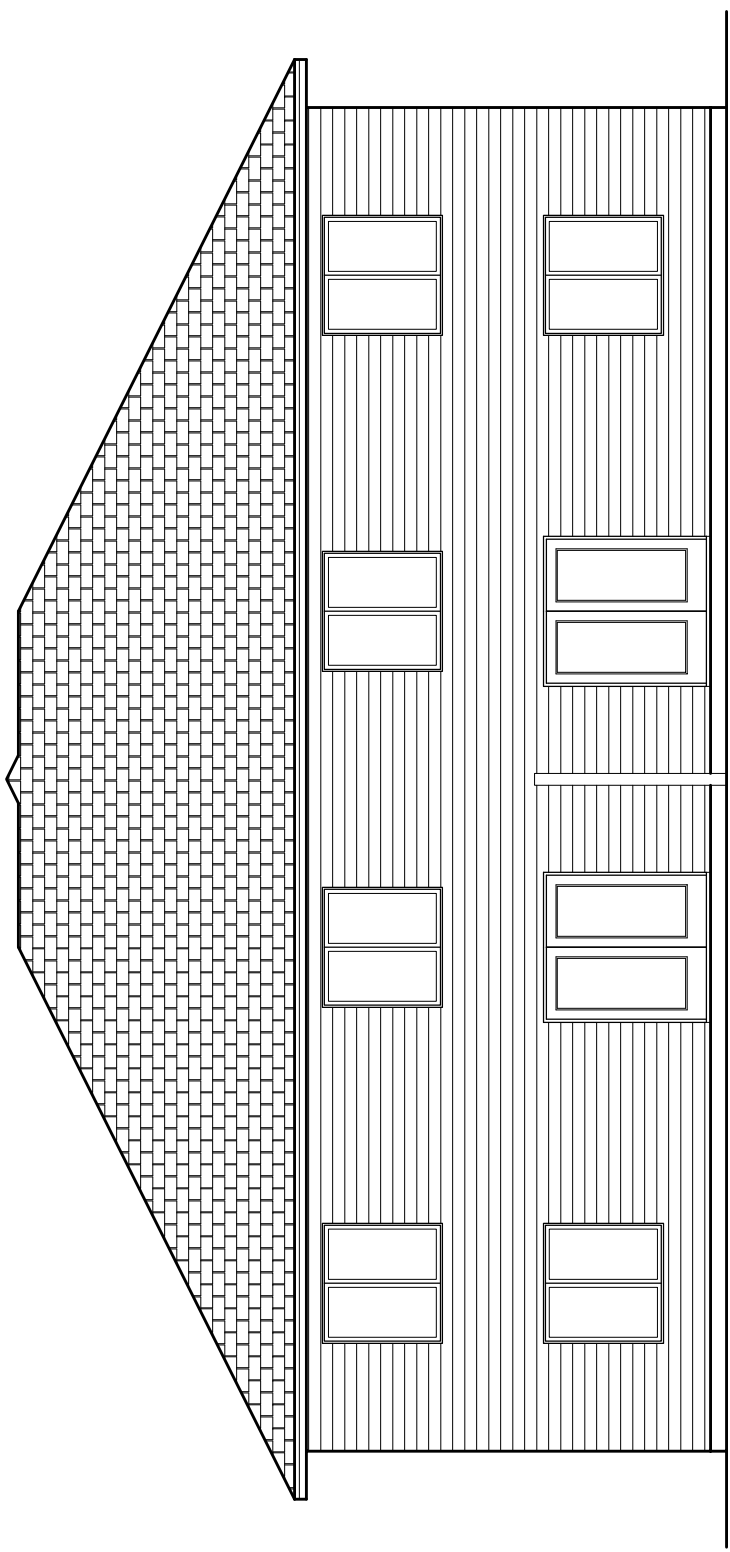
CUSTOMER: AFFORDABLE HOUSING (821-823 N. SHERWOOD AVE)

DATE: 01/04/2017
DRAWN BY: BP
REVISIONS:

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FRONT ELEVATION
1/4"=1'-0"



REAR ELEVATION
1/4"=1'-0"



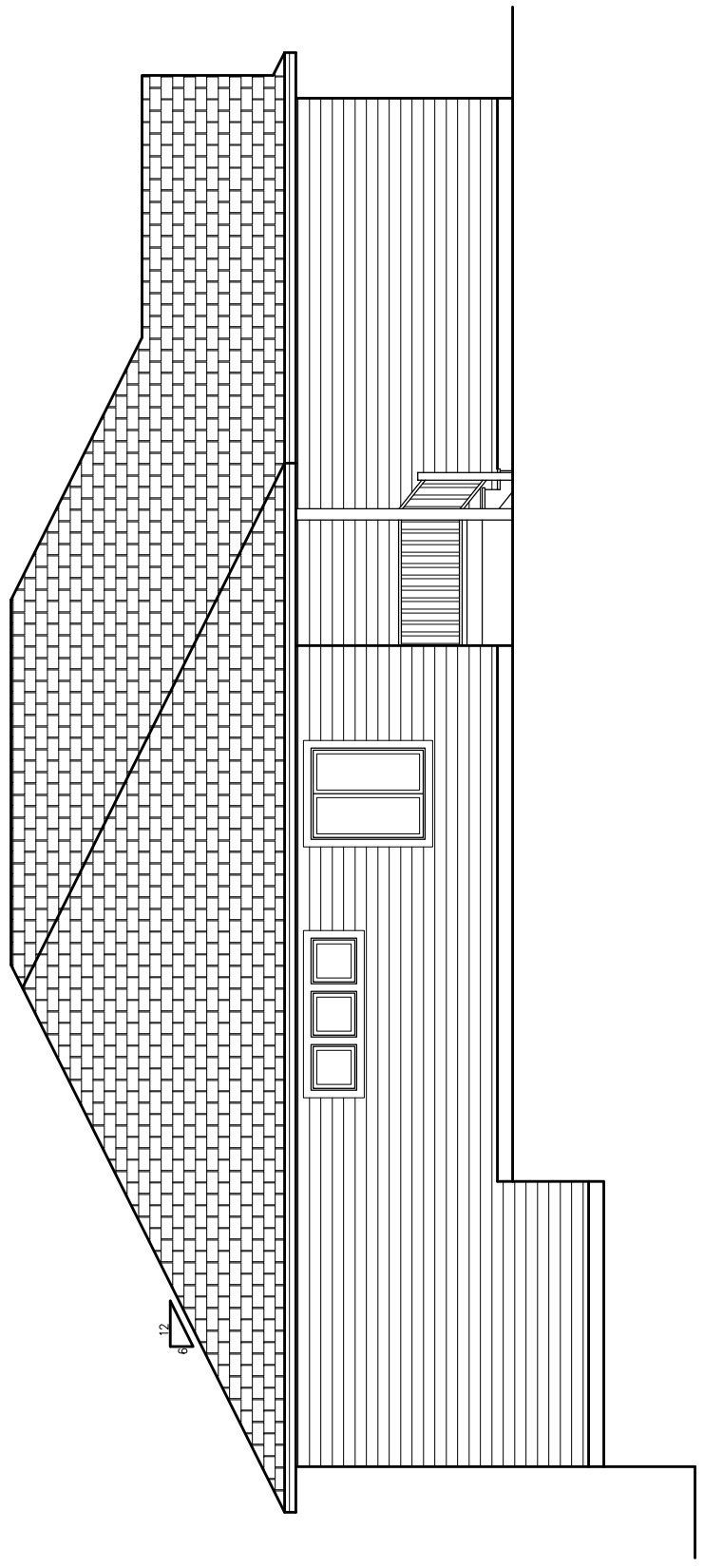
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THESE PLANS, CONNECTIONS AND SPECIFICATIONS ARE FOR INFORMATION ONLY. THE COMPANY/INDUSTRIAL
REPAIRING THE WORK IS RESPONSIBLE FOR USING PROPER AND ACCEPTED CONSTRUCTION TECHNIQUES FOR STANDARD APPLICATIONS NOT
SHOWN OR SPECIFIED. PLEASE SEE THE LAMBERT YARDS WEBSITE FOR MORE INFORMATION AND SPECIFICATIONS FOR WHICH YOU ARE LIABLE.

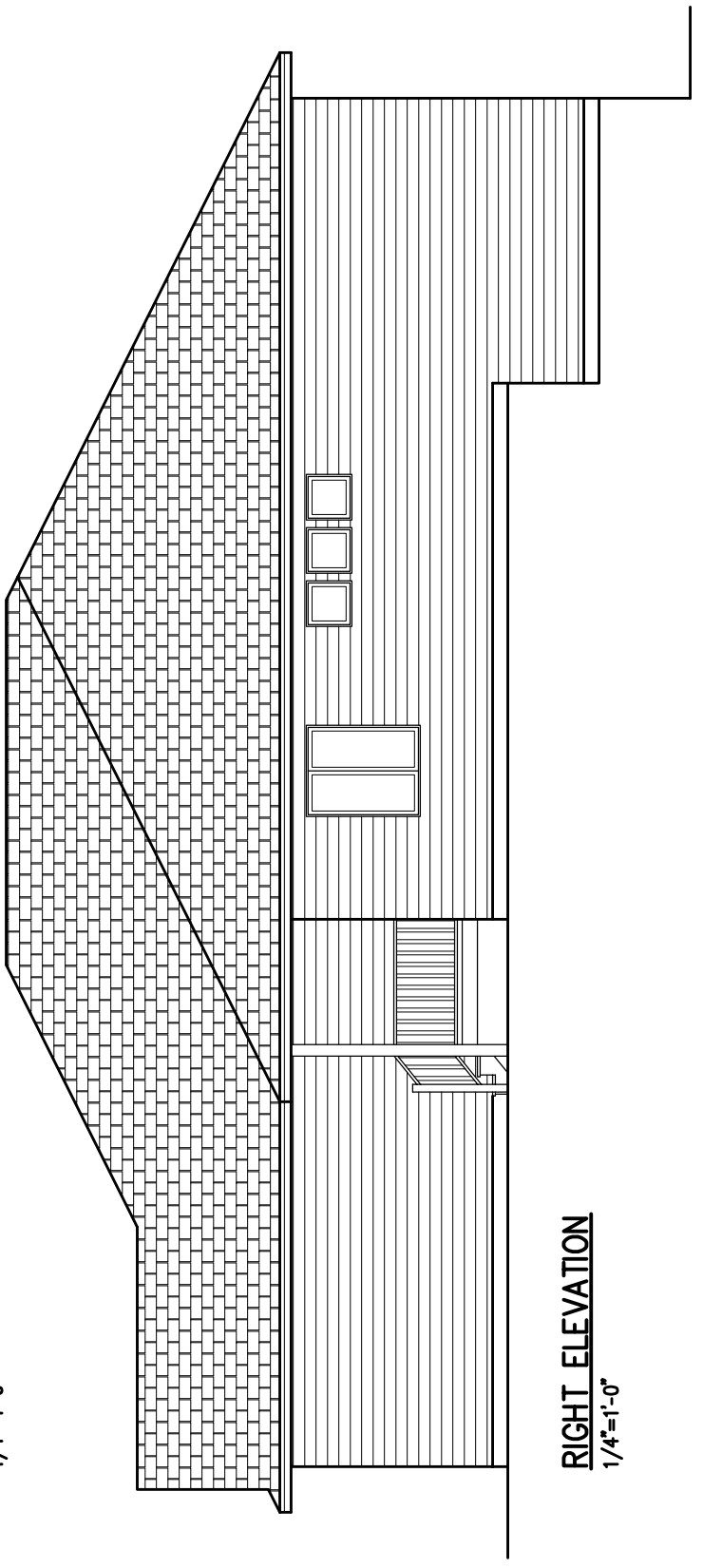
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YARD: SIOUX FALLS
DATE: 01/04/2017

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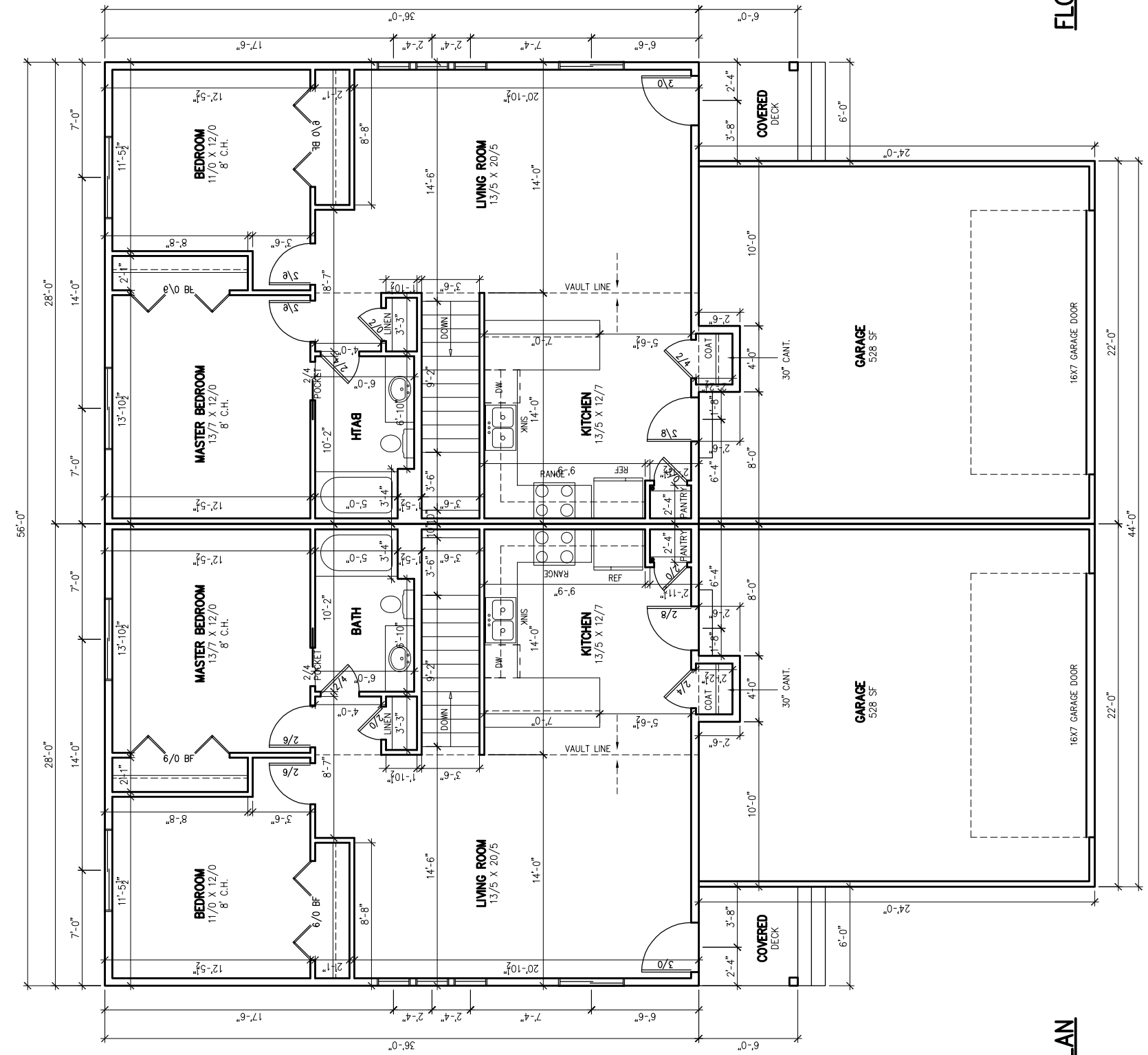


LEFT ELEVATION
1/4"=1'-0"



RIGHT ELEVATION
1/4"=1'-0"

FLOOR PLAN
1/4"=1'-0"
1018 SF



FLOOR PLAN
1/4"=1'-0"
1018 SF



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THESE PLANS CONVEYORS AND SPECIFIC STRUCTURAL MEMBERS FOR NON-STANDARD APPLICATIONS. THE COMPANY/ MEMBER
PERFORMING THE LABOR IS RESPONSIBLE FOR USING PROPER AND ACCEPTED CONSTRUCTION TECHNIQUES FOR STANDARD APPLICATIONS NOT
SHOWN OR MENTIONED HEREIN. THE LAMBERT YARDS ASSOCIATION AND ITS AFFILIATES DO NOT WARRANT THE WORK FOR THE DESIGN.

SIOUX FALLS
CUSTOMER: AFFORDABLE HOUSING (821-823 N. SHERWOOD AVE)
YARD: DATE: 01/04/2017
DRAWN BY: BP
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ST. LOUIS, MO 63105
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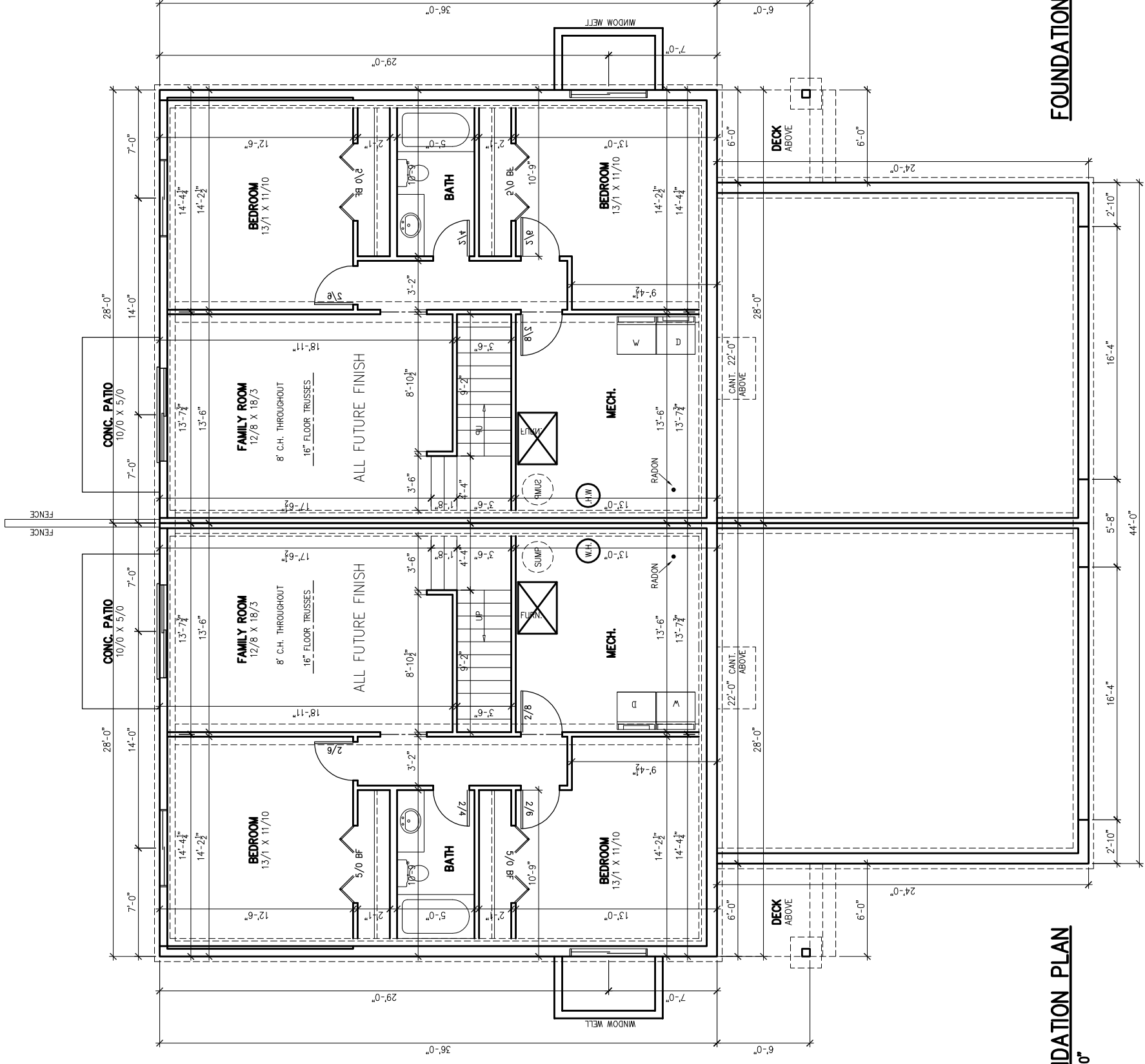
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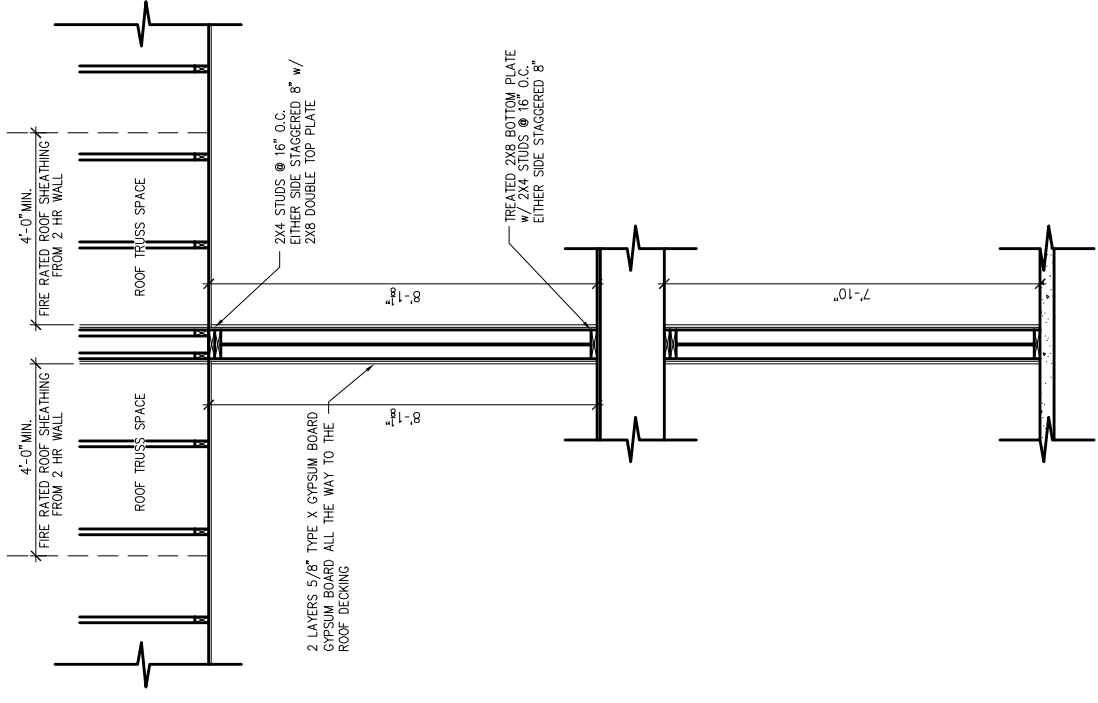
PLAN # SFL1710
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FOUNDATION PLAN
1/4"=1'-0"
733 SF

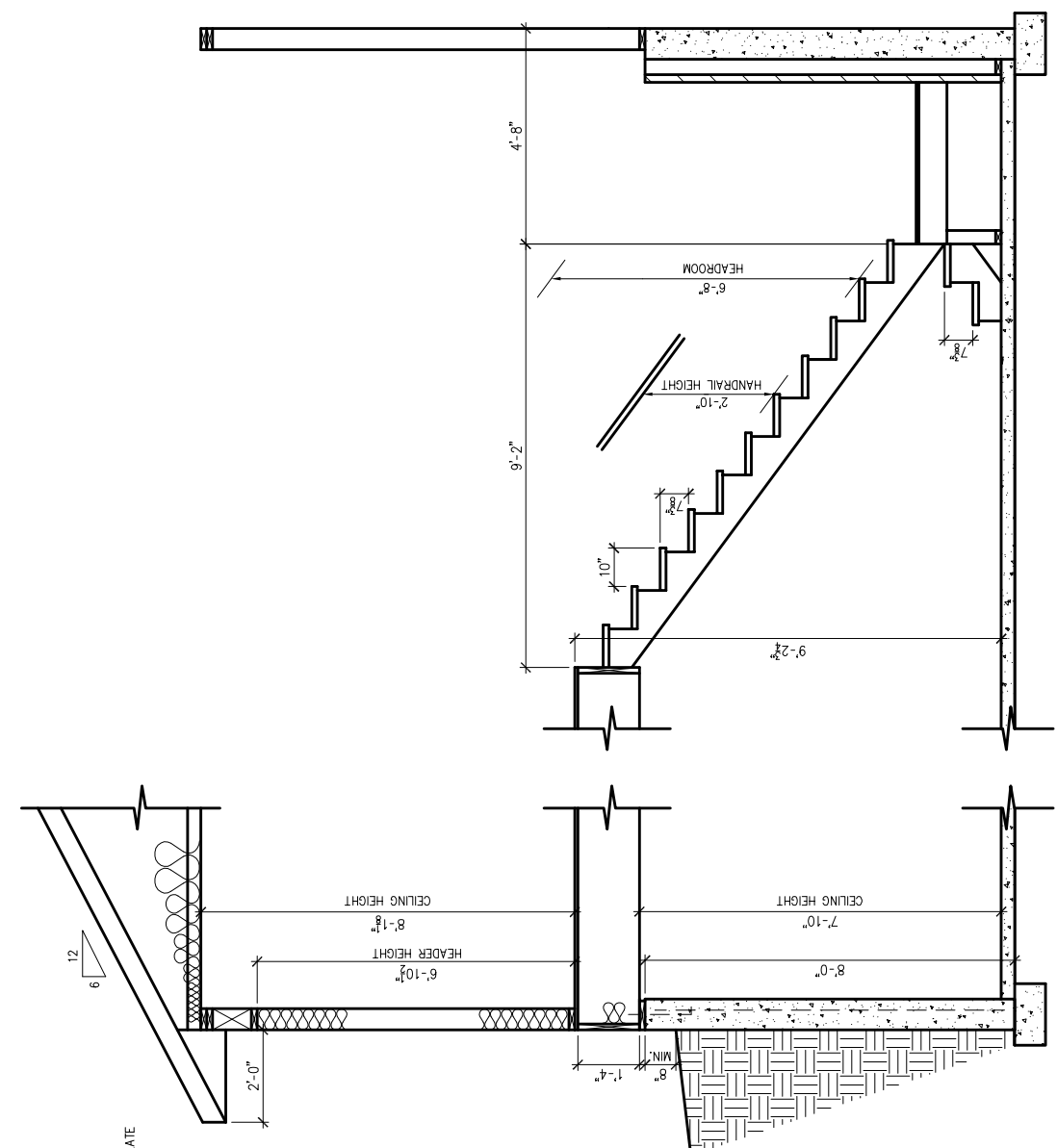
FOUNDATION PLAN
1/4"=1'-0"
733 SF



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PARTY WALL SECTION
 1/4"=1'-0"



STAIR SECTION
 1/2"=1'-0"

- ROOF**
 ASPHALT SHINGLES
 15# ASPHALT FELT
 7/16" OSB ROOF SHEATHING
 ROOF TRUSSES W/12" ENERGY HEEL
 R-60 CEILING INSULATION
 WEATHER GUARD 24" FROM INSIDE HOUSE PLATE
 AIR CHUTE IN EVERY BAY
- STYLE "D" ROOF EDGE**
 1X6 FASCIA
 1X4 FINISH FASCIA AND
 VENTED SOFFIT SYSTEM
- ALL WINDOWS**
 .28 U VALUE
 .20 SHGC
- WALL**
 SIDING (0.34) R-VALUE
 HOUSEWRAP (0.17) R-VALUE
 2X4 WALL TO FRAMING
 POLY CARBONATED FRAMING
 2X8 STUDS @ 24" O.C.
 R-21 INSULATION
 4 MIL VAPOR BARRIER
 1/2" GYPSUM BOARD (0.45) R-VALUE
 TOTAL R-VALUE OF 20 +
 EXTERIOR WALL PLUGS AND SWITCHES
 SEALED TO SHEETROCK
- FLOOR**
 16" FLOOR TRUSS
 3/4" FLOOR SHEATHING
- 2X8 TREATED SILL PLATE
 1/2" ANCHOR BOLTS
 R-19 INSULATION IN BASEMENT WALLS OR
 R-15 WITH 2" INSULATED FOAM
- FOUNDATION WALL**
 8" POURED CONCRETE FOUNDATION WALL
 W/ #6 REBAR VERT 4" OC
 16" X 8" CONCRETE FOOTING
 3 1/2" CONC FLOOR SLAB
 6MM POLY UNDER SLAB
 W/ RADON DRAIN TILE SEALED WELL